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| A11.2 | Site Grading Plan |
| A11.3 | Accessory Details |
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| SCOPE OF WORK | Project Information | | | |
|--|-------------------------------------|---|-------------------|------------|
| <ul style="list-style-type: none">New Laneway HouseBuilt to Step Code 3 | Property Owner | Wendy Anne Norman | | |
| | Site Address | 914 Fourth Street, New Westminster | | |
| | Project Type | New Laneway House | | |
| | Jurisdiction Authority | City of New Westminster | | |
| | Legal Description | Lot 24, New West District, Plan NWP2620 Suburban Block 14, EXC PCL A (Exp PI NwP11938) of Lot 10. | | |
| | PID | 008-163-383 | | |
| | Zone | RS-1 | | |
| <h3>City Request</h3> <div>1. Extending past the Laneway envelope A104 A105</div> <div>2. Site Coverage 11.3% 714.8 SF A101 A108</div> | CONSULTANTS | | | |
| | Surveyor | Elevate Land surveying | 604-385-5571 | |
| | Designer | D3 Design | 604-603-6747 | |
| | Engineer | | | |
| | Builder | | | |
| | Energy Consultant | | | |
| | Arborist | | | |
| | Zoning Analysis | | | |
| | Site | | | |
| | Lot Width | West: 132.05 ft. East: 132.04 ft. | | |
| Lot Depth | South: 47.98 ft. North: 47.96 ft. | | | |
| Lot Size | 6333.97 ft² | | | |
| <h3>PLAN # 1610</h3> <div>These drawing copies or any copies thereof: -May only be issued be issued by D3 Dimension Drafting Design Ltd. -May only be issued for the designated purpose indicated -Are issued with the understanding that D3 Dimension Drafting Design Ltd., will be responsible for their work only to the extent of issuing corrected copies in the event of an error or omission of the same. -All work done by D3 Dimension Drafting Design Ltd., is and will remain solely the property of the same. -All funds paid are non-refundable.</div> | Laneway House | Required/Allowed | Proposed | Notes |
| | Main Floor | | N/A | |
| | Lower Floor | | N/A | |
| | Total Floor area | (16%)1013.5 ft² | (15.6%)983.55 ft² | 310.19.(a) |
| | Site Coverage | (10%) 633.4 ft² | (11.2%)709.60 ft² | Relaxation |
| | Carport | 226 ft² | 190 ft² | 310.17.(a) |
| | Front Entry Landing | 32 ft² | 26 ft² | 310.17.(b) |
| | Deck | 75.3 ft² | 35 ft² | 310.17.(c) |
| | Bicycle Storage | 32 ft² | 32 ft² | 310.17.(d) |
| | Private Outdoor Space | 180 ft² Min. | 185 ft² | |
| | Setbacks | Required/Allowed | Proposed | Notes |
| | Rear PL | 3.00 ft | 3.00' | |
| | Primary Separation | 16.00 ft | 49.24' | |
| | West Lot | 4.00 ft | 4.50' | |
| | East Lot | 4.00 ft | 4.88' | |
| | Building Envelope | Required/Allowed | Proposed | Notes |
| | West envelope midpoint | | 265.89' | |
| | East envelope midpoint | | 265.49' | |
| | Base Height Plane | | 265.69' | |
| | Accessory Height | 22.97' (7m) | 16.85' | |
| | Main House (Unchanged) | Required/Allowed | Existing | Notes |
| | Floor Area | (50%)3166 ft² | (26.9%)1704 ft² | 310.11 |
| | Site Coverage | (35%)2216 ft² | (15.7%)993 ft² | 310.13.(d) |

| GENERAL NOTES | |
|--|--|
| These drawings have been prepared by D3 Dimension Drafting and Design Inc. to conform to the current residential standards of the BCBC (2018). | |
| The Builder is responsible for ensuring that all construction conforms to provincial and local codes and bylaws. | |
| Dimensions take precedence to scale drawings. | |
| Dimensions to be taken from outside face of sheathing for exterior walls and face of studs for interior walls as shown. | |
| Place footings to undisturbed, sound bearing soil below frostline (2' below grade). | |
| Structural lumber to be No.2 SPF or better | |
| Between all exterior top plates and double plates, require 6 MIL poly. | |
| 6 MIL poly is required at all connection points between interior and exterior walls. | |
| Floor assembly to be constructed with manufacture I-joist. | |
| Lumber in contact with concrete to be damproofed (sill gasket) , and anchored with 1/2" anchor bolts at 16" O.C. max | |
| Lintels to be #2-2x10 U.N.O TYP. | |
| Double joists at parallel partitions (opt. 2x10 blocking at 24" O.C.) | |
| Dwelling must meet current B.C. ventilation code | |
| All operable windows to be standard sliding glazing, U.N.O. | |
| Waterproof wallboard required on bathroom walls | |
| Provide a bond-breaking material between foundation or rock and slabs. | |
| Exterior dimensions to be measured from outside of sheathing. | |
| All interior dimensions to be measured to the centre of stud, except where otherwise noted. | |
| All Construction and installation of materials and equipment shall be done in accordance with good building practices, following manufacturers instructions and conforming to the BCBC | |
| All Structural specifications to be designed and certified by a structural engineer. Any discrepancies must be brought to D3 Dimension Drafting and Design Inc. attention. | |
| It is the responsibility of the contractor or builder to check and verify all dimensions and to ensure all work conforms to all local bylaws ad regulation, and to the current edition of the BCBC | |
| D3 Dimension Drafting and Design Inc. accepts no liability for error or omissions. | |
| These plans conform to the B.C. Building Code, 2018 ED. | |
| Site Requirements | |
| <ul style="list-style-type: none">No retaining wall shall be constructed on any lot having an exposed height greater than 4 ft. unless engineeredAny exposed concrete over 2 ft in height shall be architecturally treated. | |
| Exterior Design | |
| <ul style="list-style-type: none">No exposed concrete block is permittedExposed concrete foundation walls are not to exceed 1.64 ft in height,In General, the main materials used on the front of the house should be used on all other facadesOverhangs to be a minimum of 18" TYP. U.N.O.All gable fascia shall be a minimum fascia of 2x10. | |
| Roof & Building Materials | |
| <ul style="list-style-type: none">Any fascia gutter must be properly integrated with wood fascia boards to meet building schemeExterior vertical walls are to be non-combustible 20min rated | |
| Driveways & Garages | |
| <ul style="list-style-type: none">The garage shall have closing doors with raised panels or desired architectural detailingGarage should be painted to match proposed buildings design and colour schemeGarage dimensions are taken from the outside of cladding.Driveways shall be constructed of permeable materials or U.N.O.No gravel driveways or parking areas. | |
| No buildings or driveways shall be constructed on the lots unless provisions to reduce storm water run-off from buildings and driveways been made by the run-off from buildings, driveways and any other impervious surfaces constructed on the lot being re-charged back to the ground through suitable subsurface storm water management systems such as rock pits or exfiltration chambers and run-off from driveways which slope to the public road or common property being intercepted at the property line by the provision of suitably designed and constructed absorbent strip such as grass-crete or permeable interlocking concrete pavers. | |



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Slivercrest Custom
Homes and Reno
914 Fourth Street

| No. | Description | Date |
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Zoning

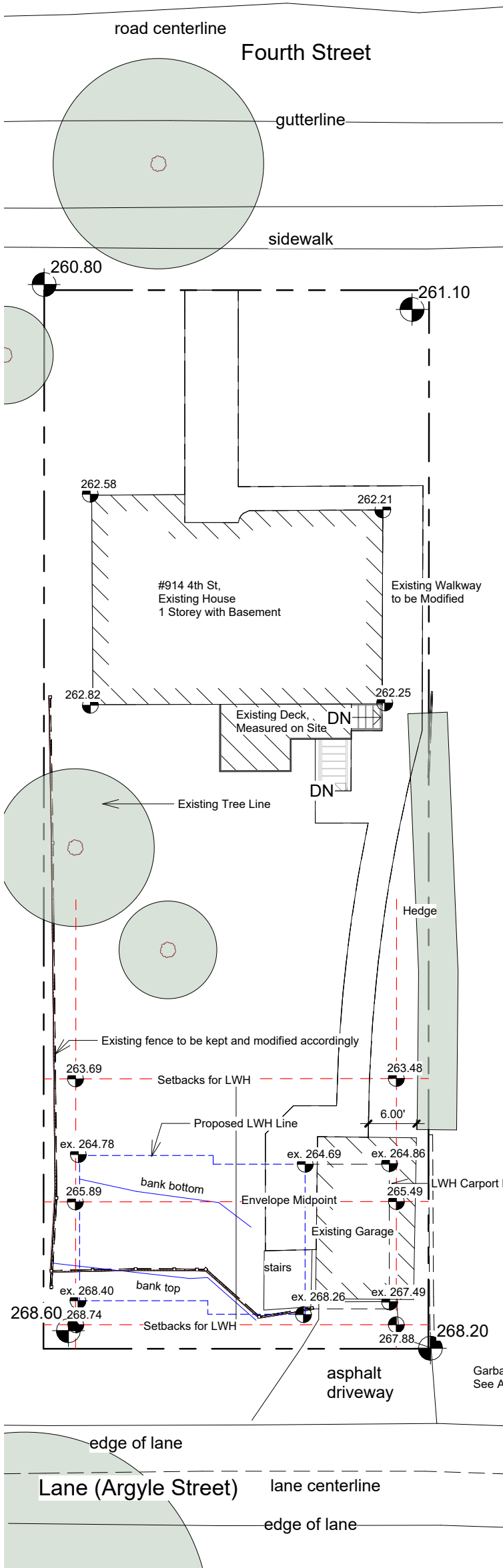
| | | |
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| Project number | 1610 | A10 |
| Date | Oct 26, 2023 | |
| Drawn by | JG | |
| Checked by | KS | Scale 1" = 1'-0" |



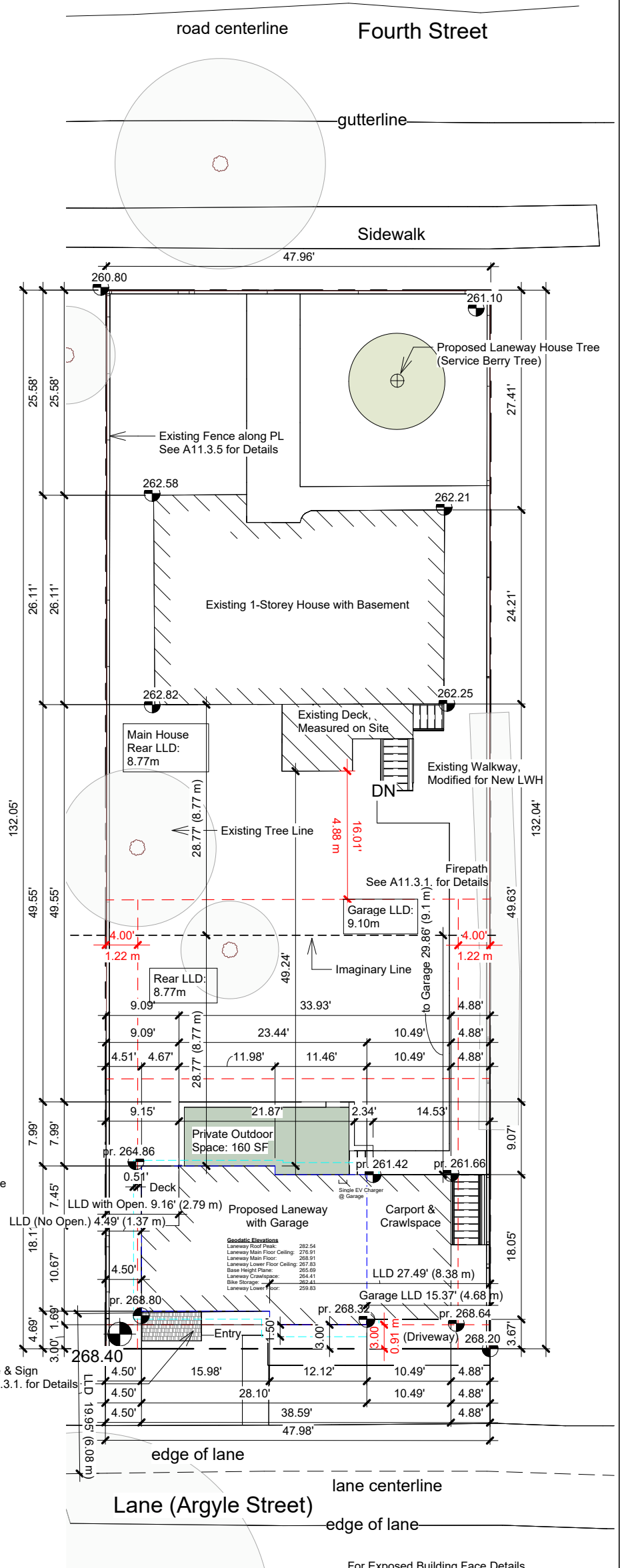
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914 Fourth Street

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| <h1>Site Plan</h1> | |
| Project number | 1610 |
| Date | Oct 26, 2023 |
| Drawn by | JG |
| Checked by | JG |
| <h2>A11</h2> | |
| Scale 1/16" = 1'-0" | |



1 Existing Site
1/16" = 1'-0"



2 Proposed Site
1/16" = 1'-0"



True North



Project North

For Exposed Building Face Details,
Ref. to A17.2 for the Proposed Laneway House
and A27 for the Existing Main House





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| No. | Description | Date |
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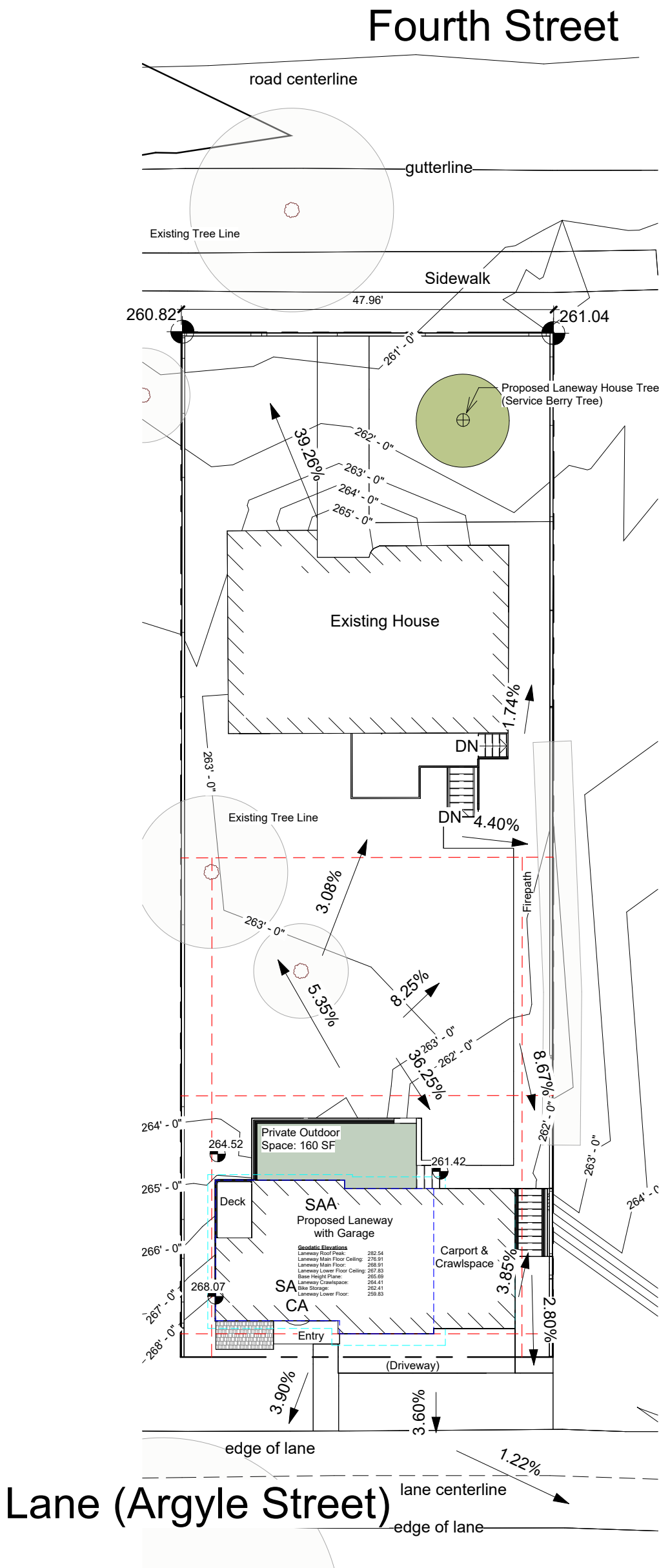
| | | |
|---------------------|-----------|-------|
| Site Context Photos | | |
| Project number | 1610 | A11.1 |
| Date | Nov 09,22 | |
| Drawn by | Author | |
| Checked by | Approver | Scale |



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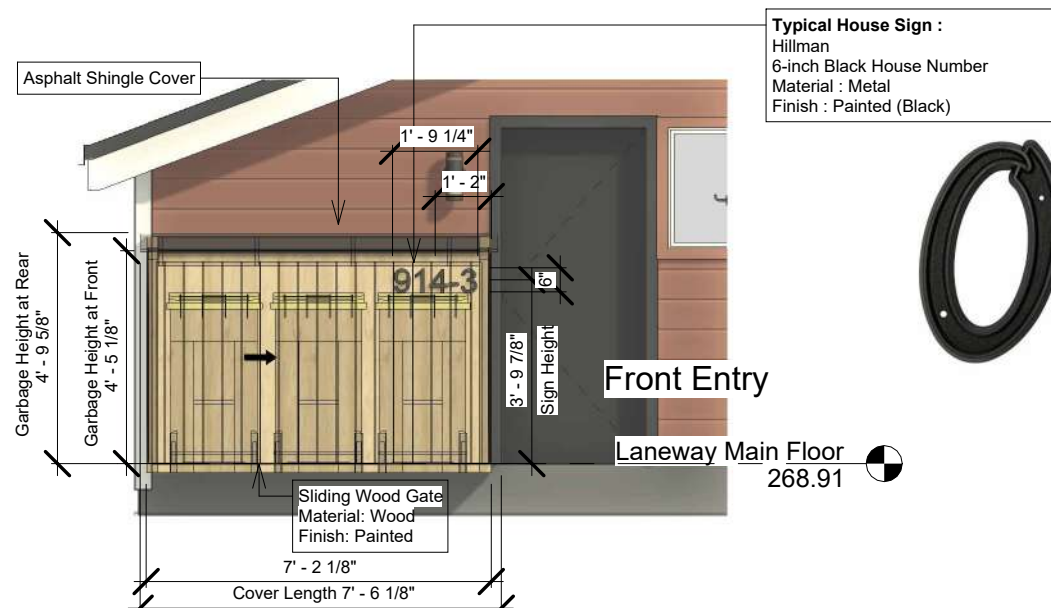
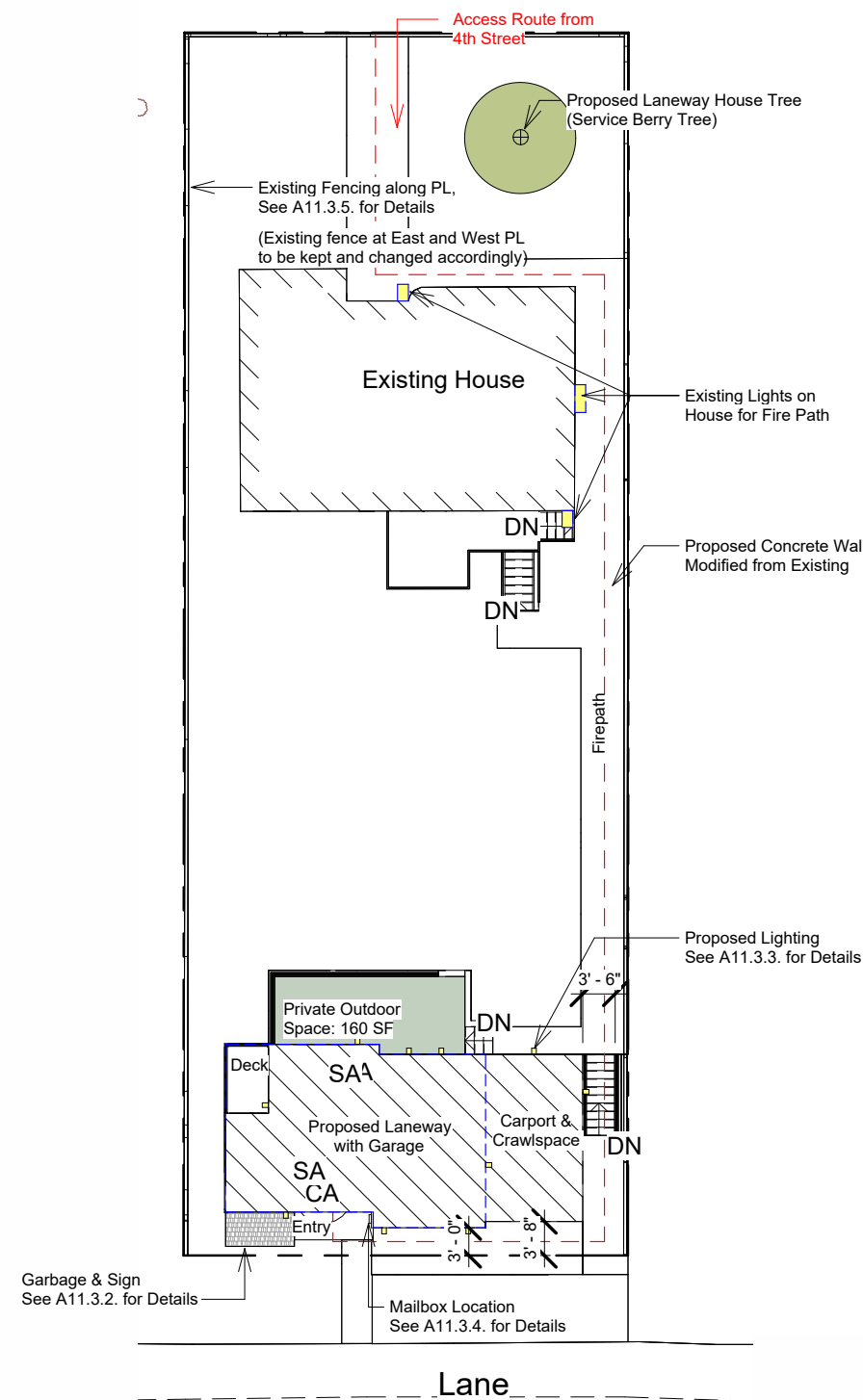
| | |
|----------------------------|--------------|
| <h1>Site Grading Plan</h1> | |
| Project number | 1610 |
| Date | Oct 26, 2023 |
| Drawn by | Author |
| Checked by | Checker |
| <h2>A11.2</h2> | |
| Scale 1/16" = 1'-0" | |



1 Site Grading Plan
1/16" = 1'-0"

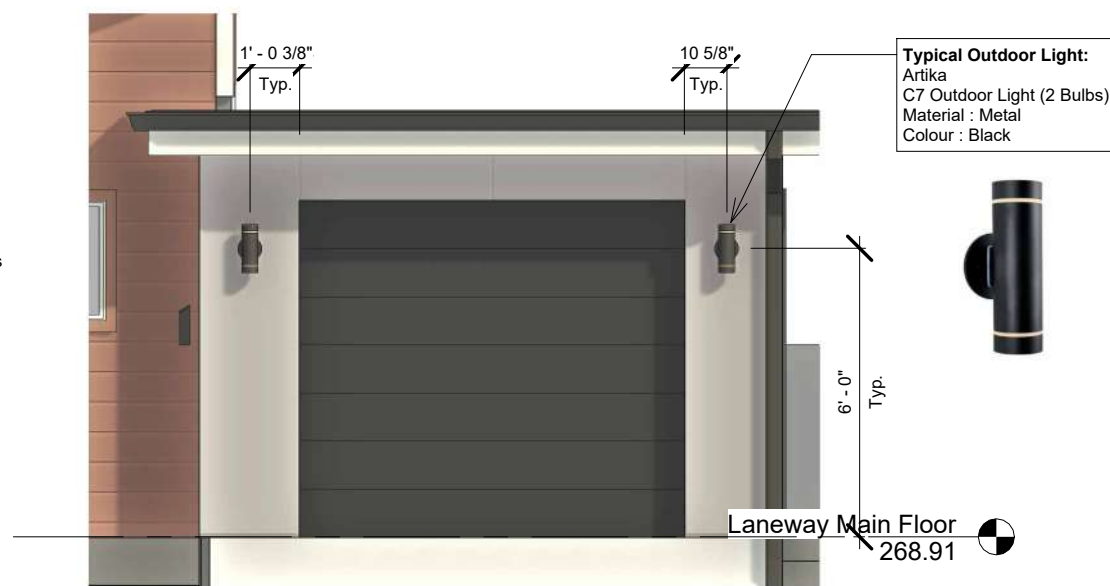


4th St.

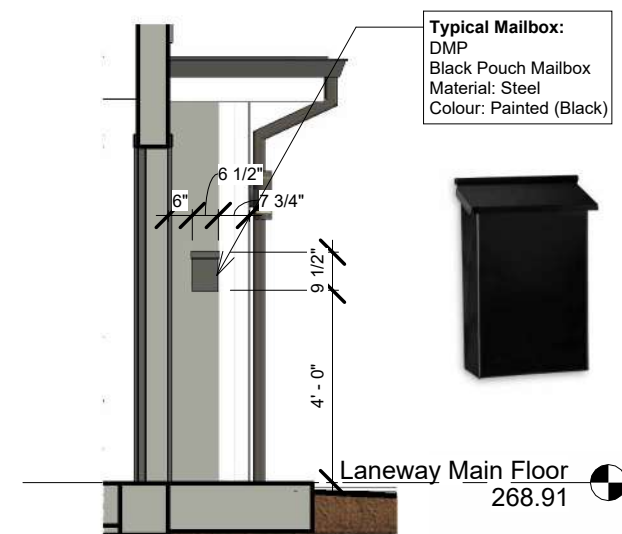


2 Sign & Garbage Detail
1/4" = 1'-0"

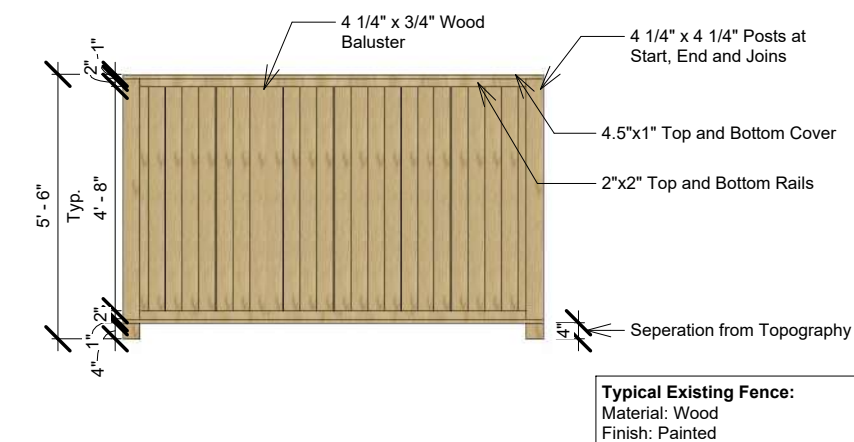
Typical House Sign :
Hillman
6-inch Black House Number
Material : Metal
Finish : Painted (Black)



3 Lighting Detail
1/4" = 1'-0"



4 Mailbox Details
1/4" = 1'-0"



5 Existing Fence Detail
1/4" = 1'-0"

1 Service Access Path
1" = 20'-0"



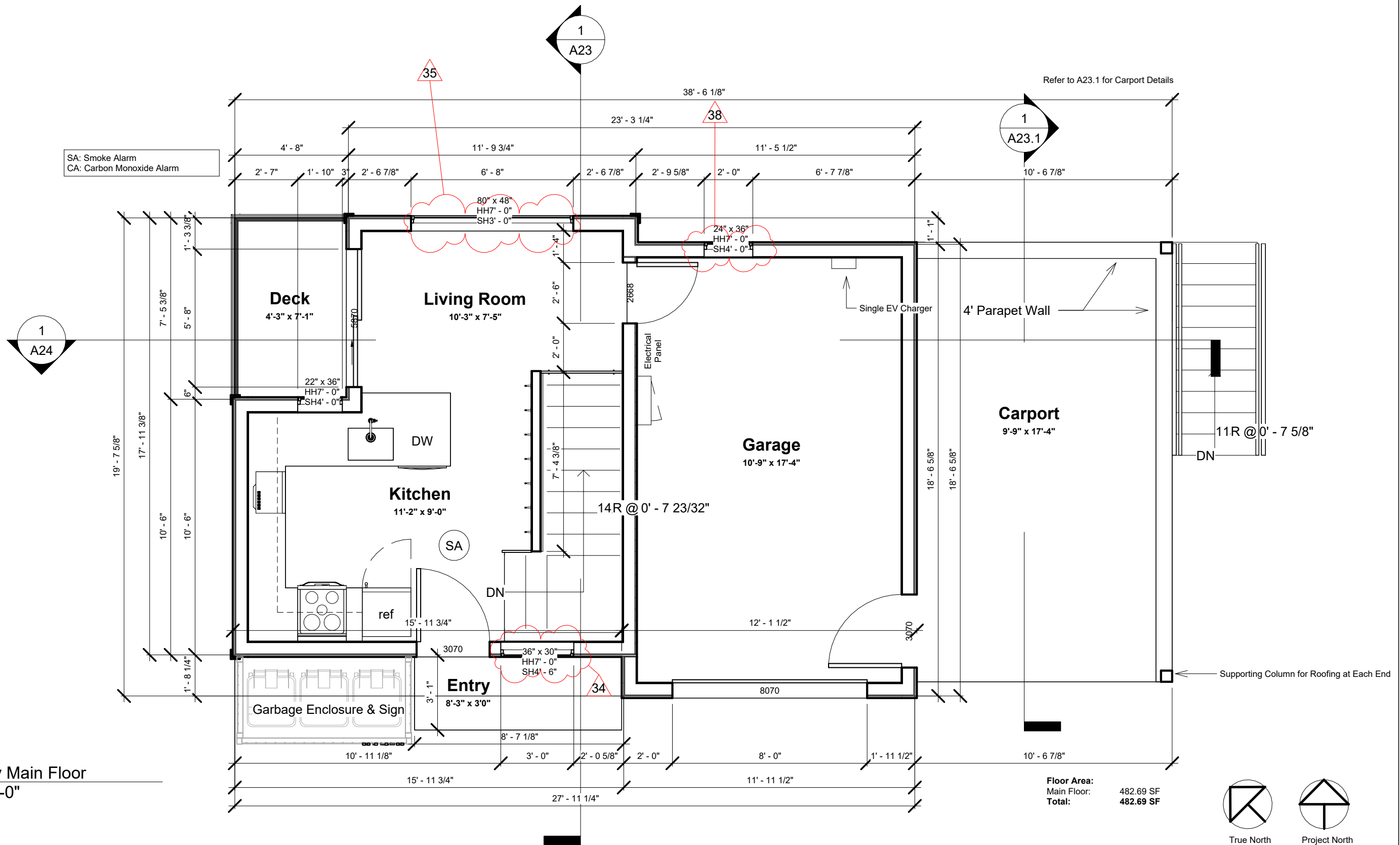
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| No. | Description | Date |
|-----|---|---------------|
| 29 | Existing fence to be kept and modified noted. | July 17, 2023 |
| | | |
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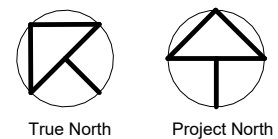
Accessory Details

| | | |
|--------------------|--------------|-------|
| Project number | 1610 | A11.3 |
| Date | Oct 26, 2023 | |
| Drawn by | Author | |
| Checked by | Checker | |
| Scale As indicated | | |



1 Laneway Main Floor
1/4" = 1'-0"

Floor Area:
Main Floor: 482.69 SF
Total: 482.69 SF



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| No. | Description | Date |
|-----|---------------------|------------------|
| 34 | Window size changed | October 26, 2023 |
| 35 | Window size changed | October 26, 2023 |
| 38 | Window size changed | October 26, 2023 |
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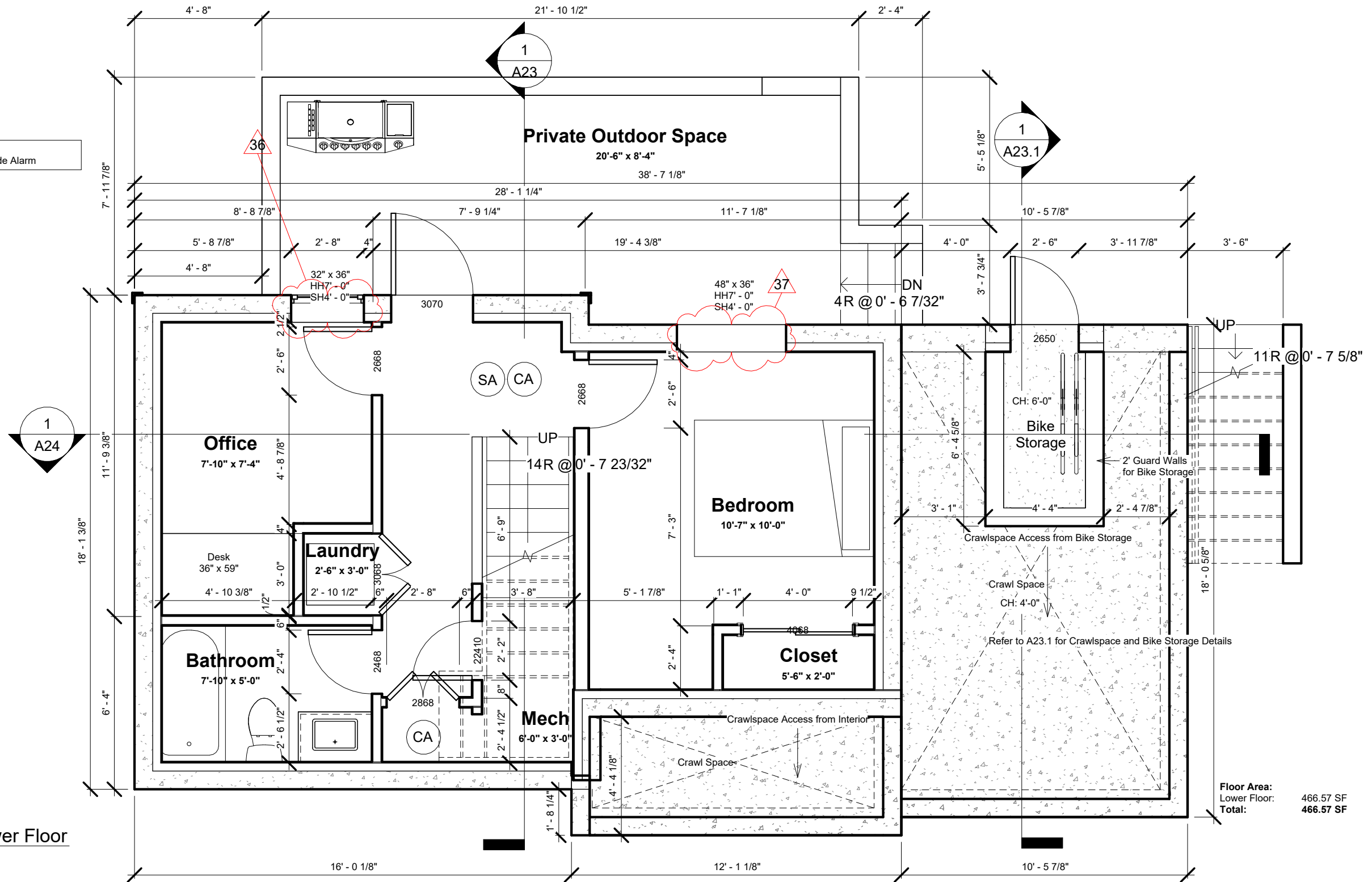
Laneway Main Floor

Project number 1610
Date Oct 26, 2023
Drawn by JG
Checked by Checker

A12

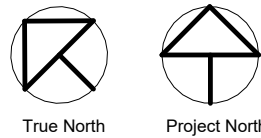
Scale 1/4" = 1'-0"

SA: Smoke Alarm
CA: Carbon Monoxide Alarm



1 Laneway Lower Floor
1/4" = 1'-0"

Floor Area:
Lower Floor: 466.57 SF
Total: 466.57 SF



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914 Fourth Street

| No. | Description | Date |
|-----|---------------------|------------------|
| 36 | Window size changed | October 26, 2023 |
| 37 | Window size changed | October 26, 2023 |
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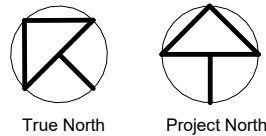
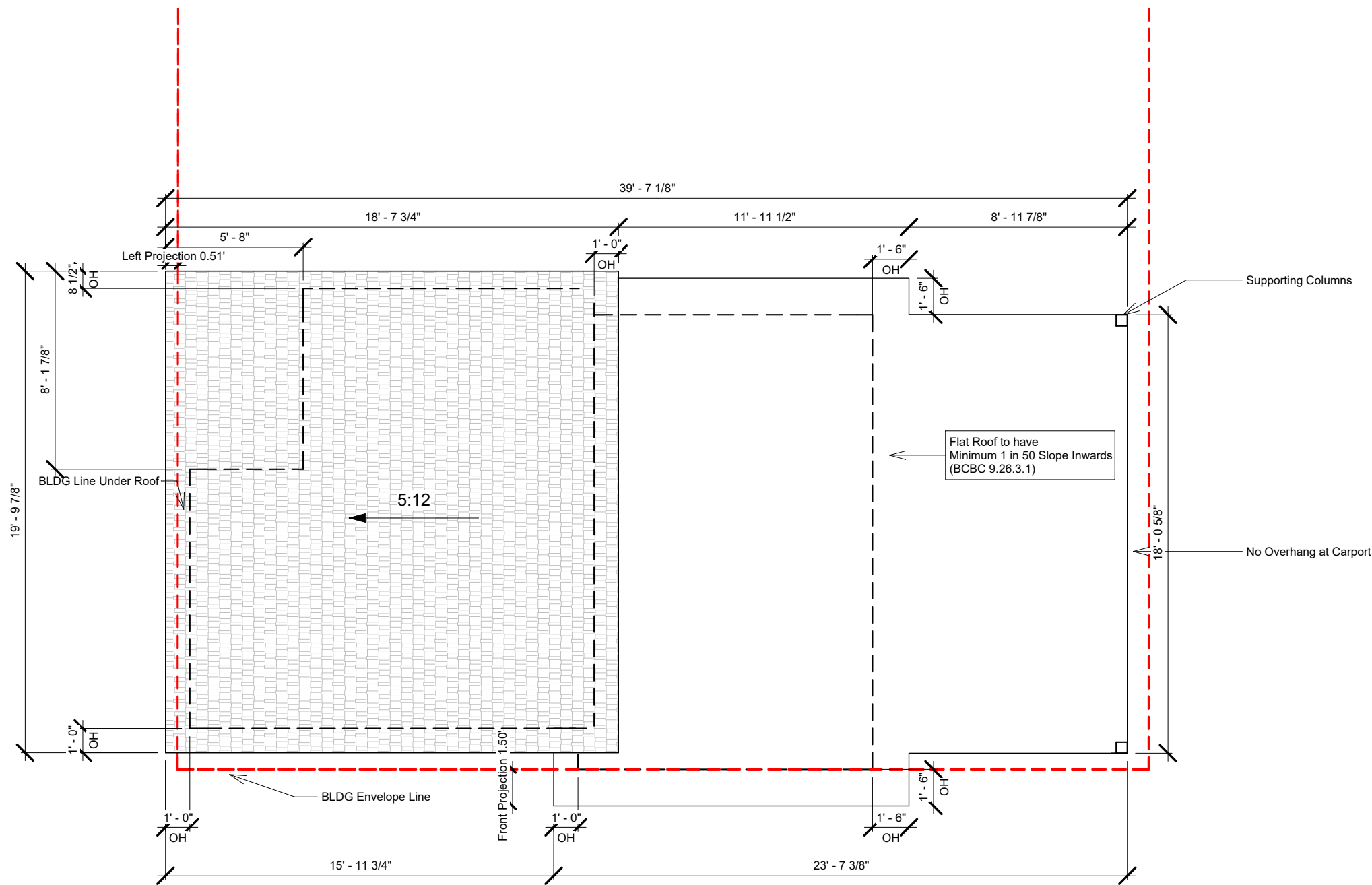
Laneway Lower Floor

Project number 1610
Date Oct 26, 2023
Drawn by JG
Checked by JG

A13

Scale 1/4" = 1'-0"

27-Oct-2023 04:24:21



1 Laneway Roof Peak
3/16" = 1'-0"



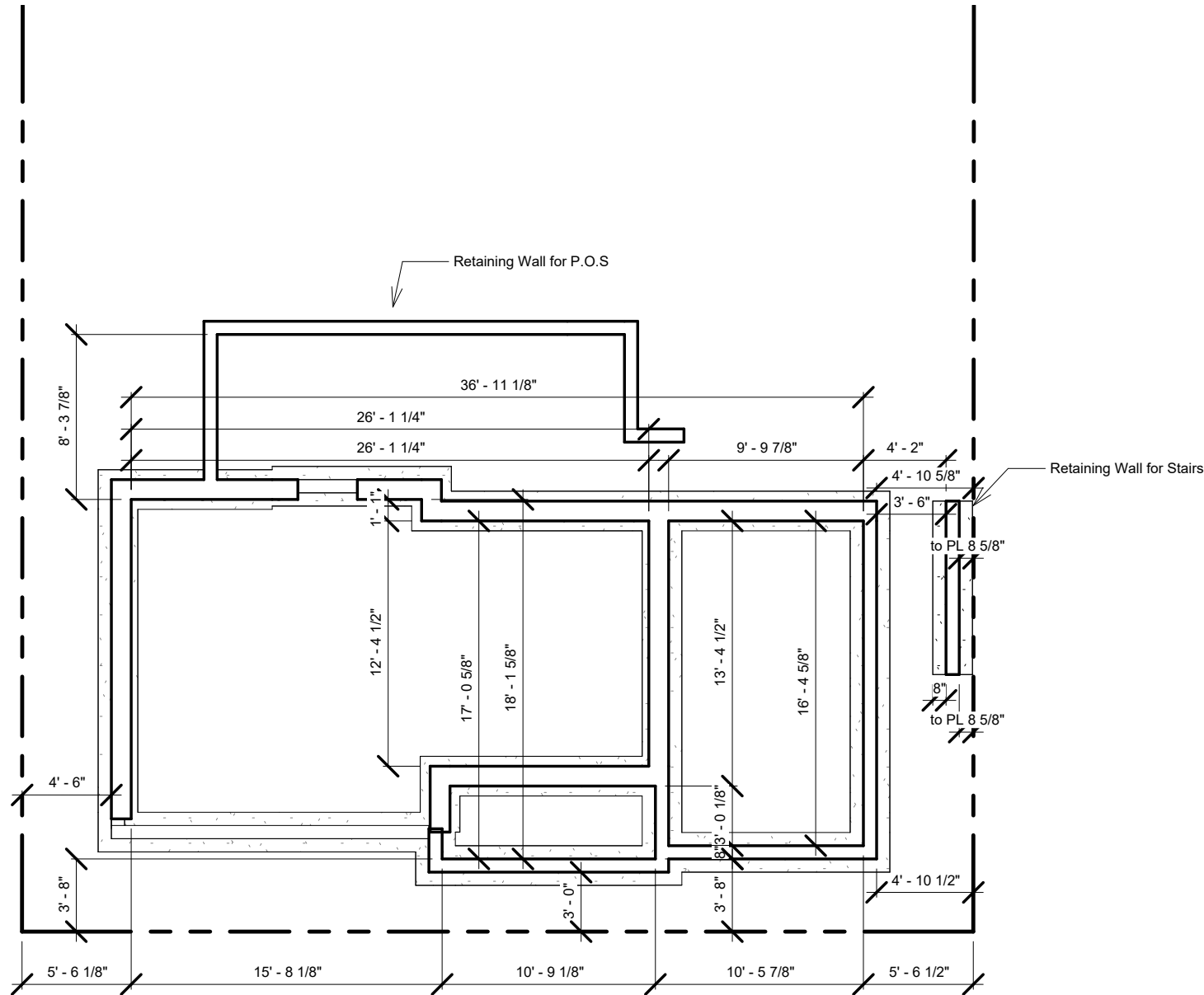
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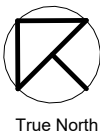
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Roof Plan

| | | |
|----------------|--------------|---------------|
| Project number | 1610 | A14 |
| Date | Oct 26, 2023 | |
| Drawn by | JG | |
| Checked by | Checker | |
| Scale | | 3/16" = 1'-0" |



① Foundation Plan
1/8" = 1'-0"



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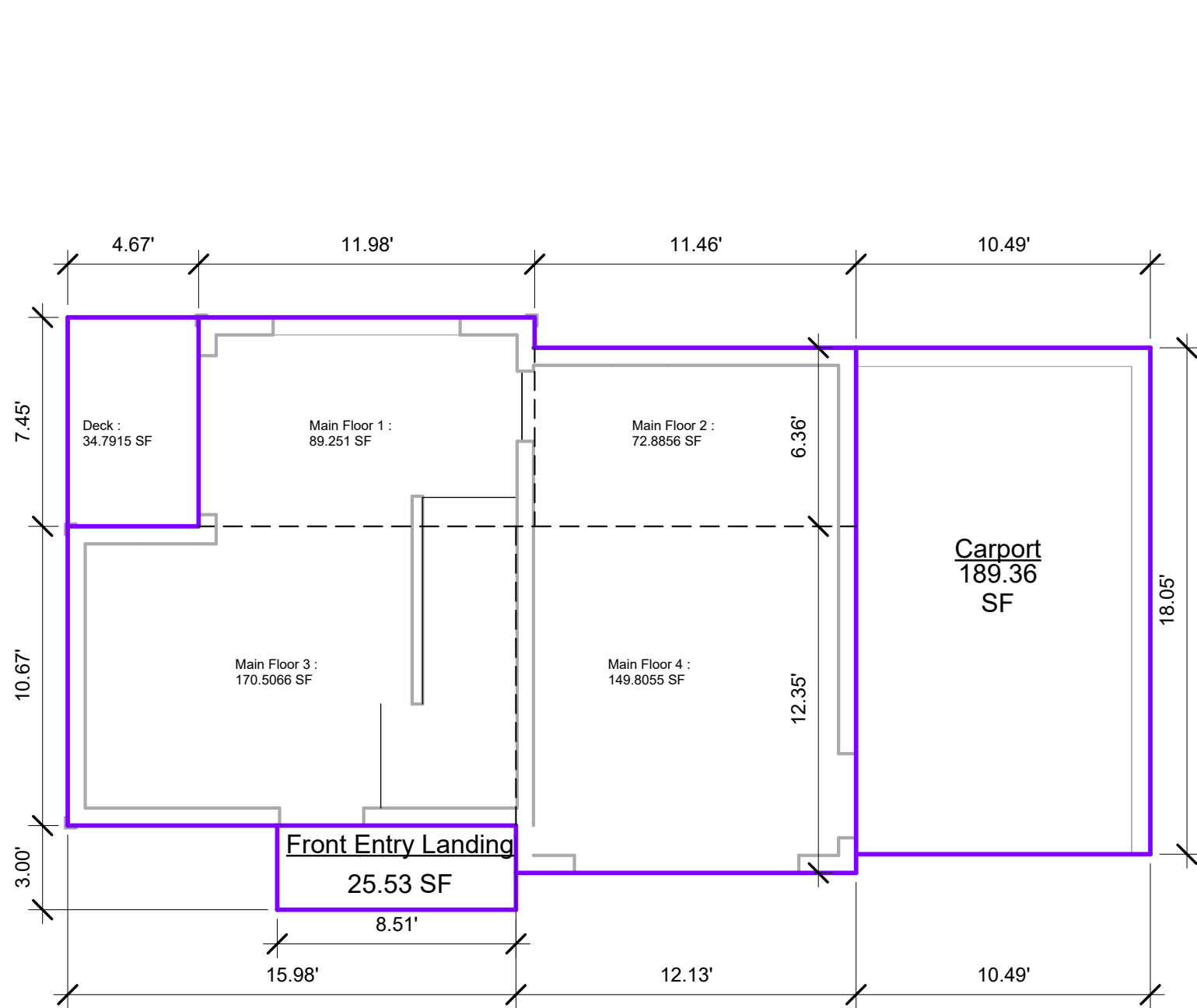
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Foundation Plan

| | |
|----------------|--------------|
| Project number | 1610 |
| Date | Oct 26, 2023 |
| Drawn by | JG |
| Checked by | Checker |

A15

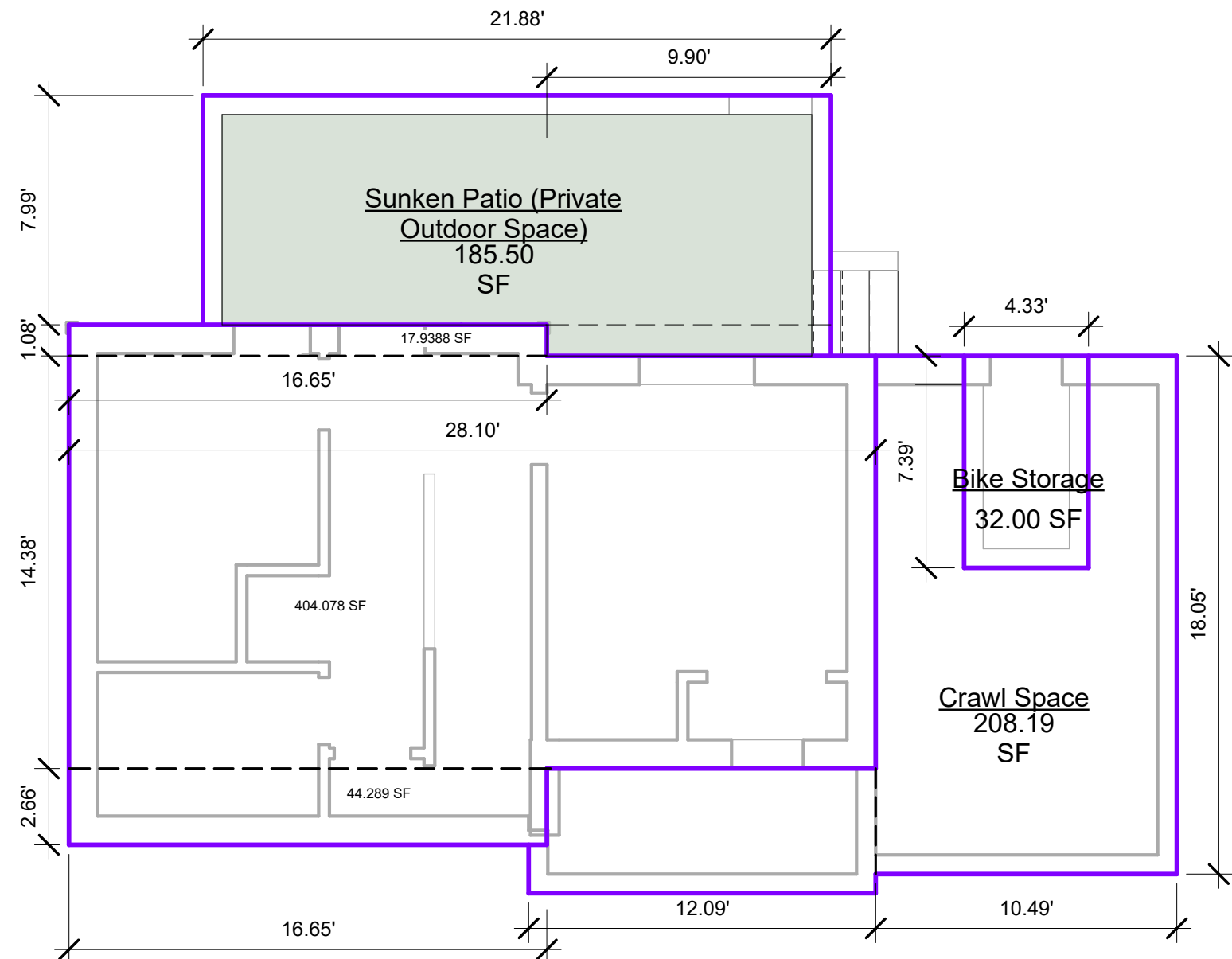
Scale 1/8" = 1'-0"



Floor Area:
Total: Main Floor + Deck
517.24 SF

Site Coverage:
Building Outline: 517.24 SF + Carport
Total: 709.60 SF

1 Laneway Main Floor
3/16" = 1'-0"

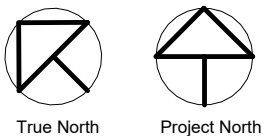


Floor Area:
Total: 466.31 SF

P.O.S: 185.50 SF

Floor Area Total:
Main Floor: 517.24 SF
Lower Floor: 466.31 SF
Total: 983.55 SF

2 Laneway Lower Floor
3/16" = 1'-0"

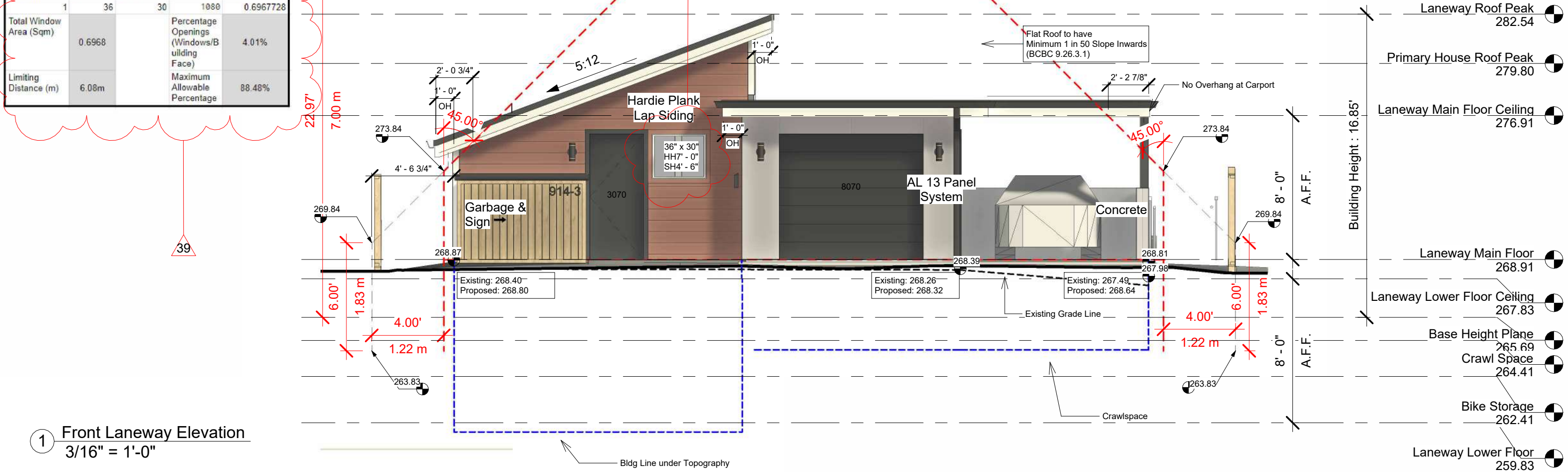


| No. | Description | Date |
|-----|-------------|------|
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Area Plans

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|----------------|--------------|---------------|
| Project number | 1610 | A16 |
| Date | Oct 26, 2023 | |
| Drawn by | JG | |
| Checked by | Checker | |
| Scale | | 3/16" = 1'-0" |

| LWH - Front | | Building Face Area (SqM) | | 17.36 |
|-------------------------|--------------|--------------------------|---|-------------------|
| Quantity | Window Width | Window Height | Window Area (SqIn) | Window Area (SqM) |
| 1 | 36 | 30 | 1080 | 0.6967728 |
| Total Window Area (SqM) | 0.6968 | | Percentage Openings (Windows/Building Face) | 4.01% |
| Limiting Distance (m) | 6.08m | | Maximum Allowable Percentage | 88.48% |



1 Front Laneway Elevation
3/16" = 1'-0"

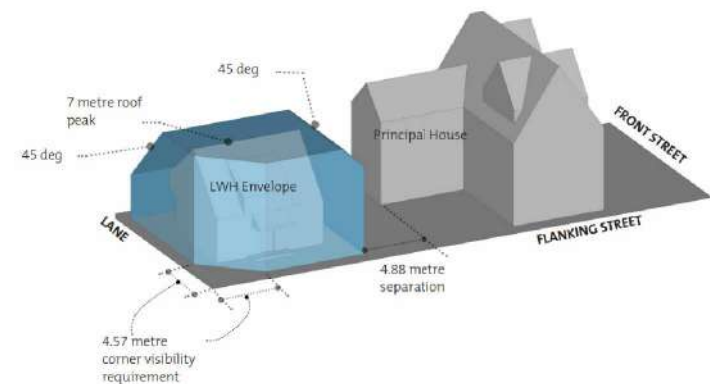


Fig. 12 - Perspective view.



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| No. | Description | Date |
|-----|------------------------------|------------------|
| 34 | Window size changed | October 26, 2023 |
| 39 | Spatial calculations updated | October 26, 2023 |
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Front Elevation

| | | |
|----------------|--------------|--------------------|
| Project number | 1610 | A17 |
| Date | Oct 26, 2023 | |
| Drawn by | JG | |
| Checked by | JG | |
| | | Scale As indicated |



Rear Lane



Looking North East



Looking South West



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914 Fourth Street

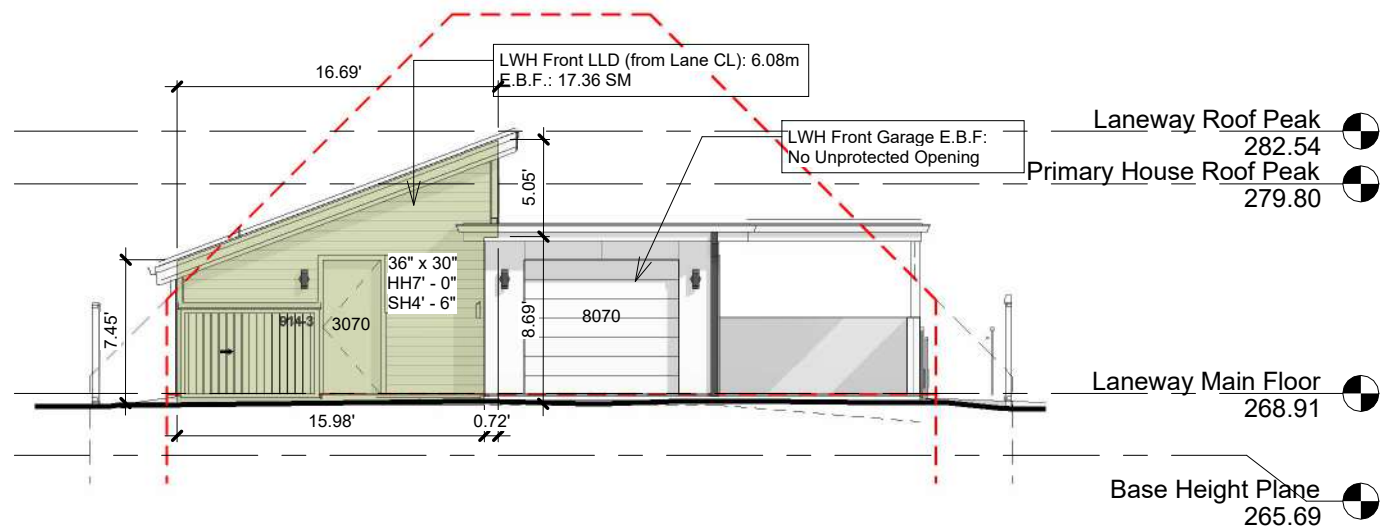
| No. | Description | Date |
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Lane Context Photos

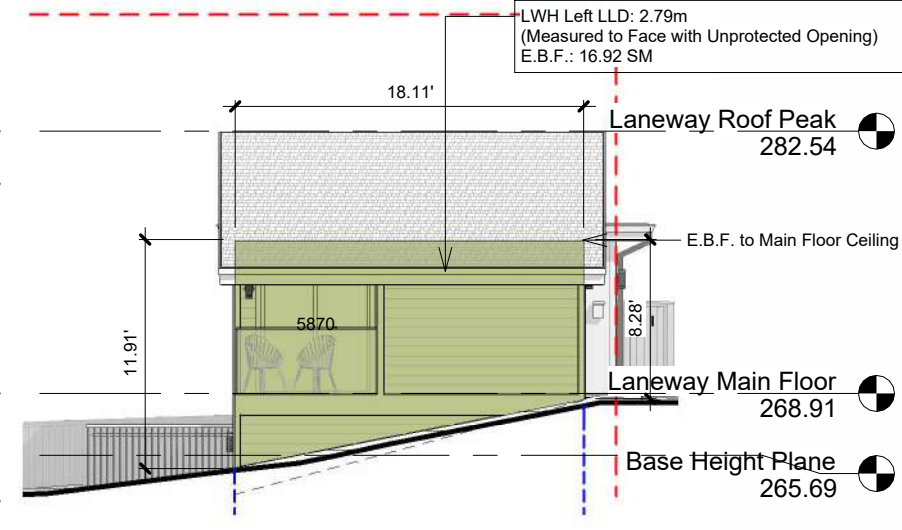
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|----------------|--------------|-------|
| Project number | 1610 | A17.1 |
| Date | Oct 26, 2023 | |
| Drawn by | Author | |
| Checked by | Checker | Scale |



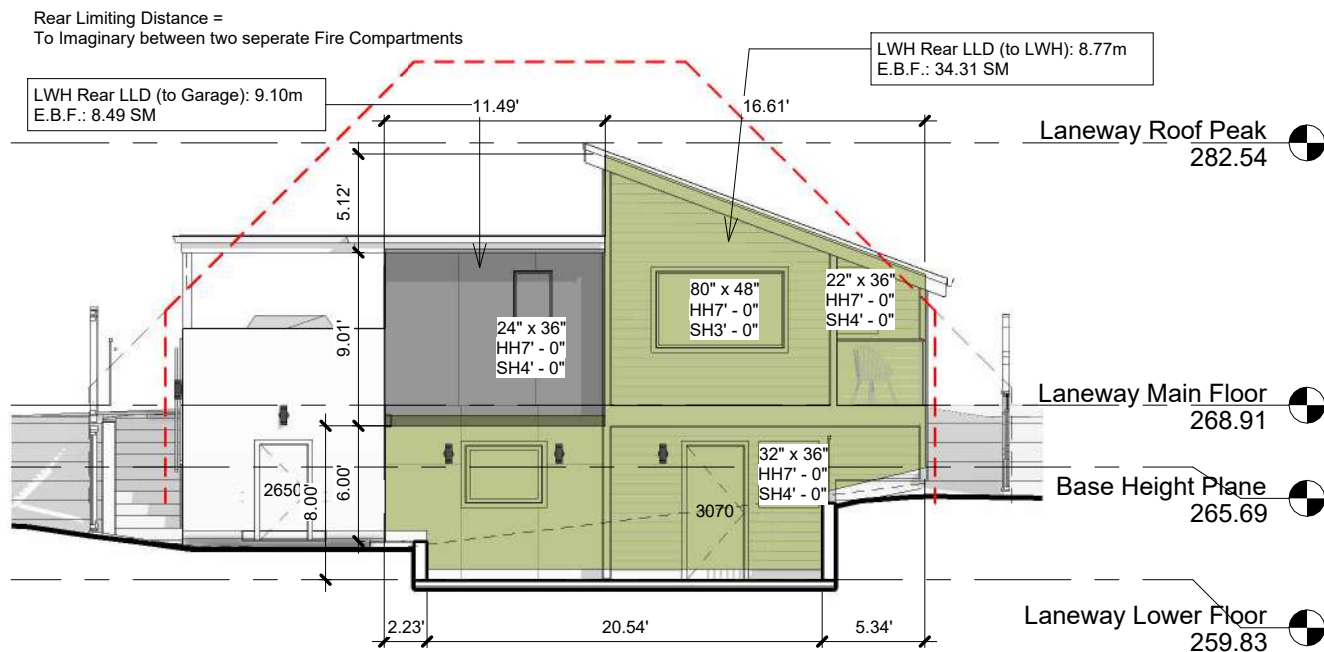
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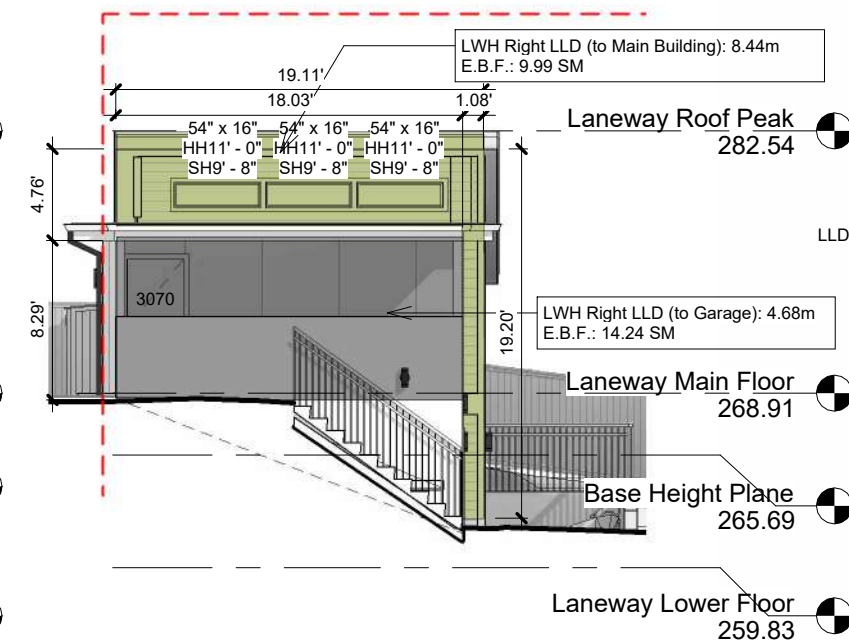
① Front E.B.F. Calculation
1" = 10'-0"



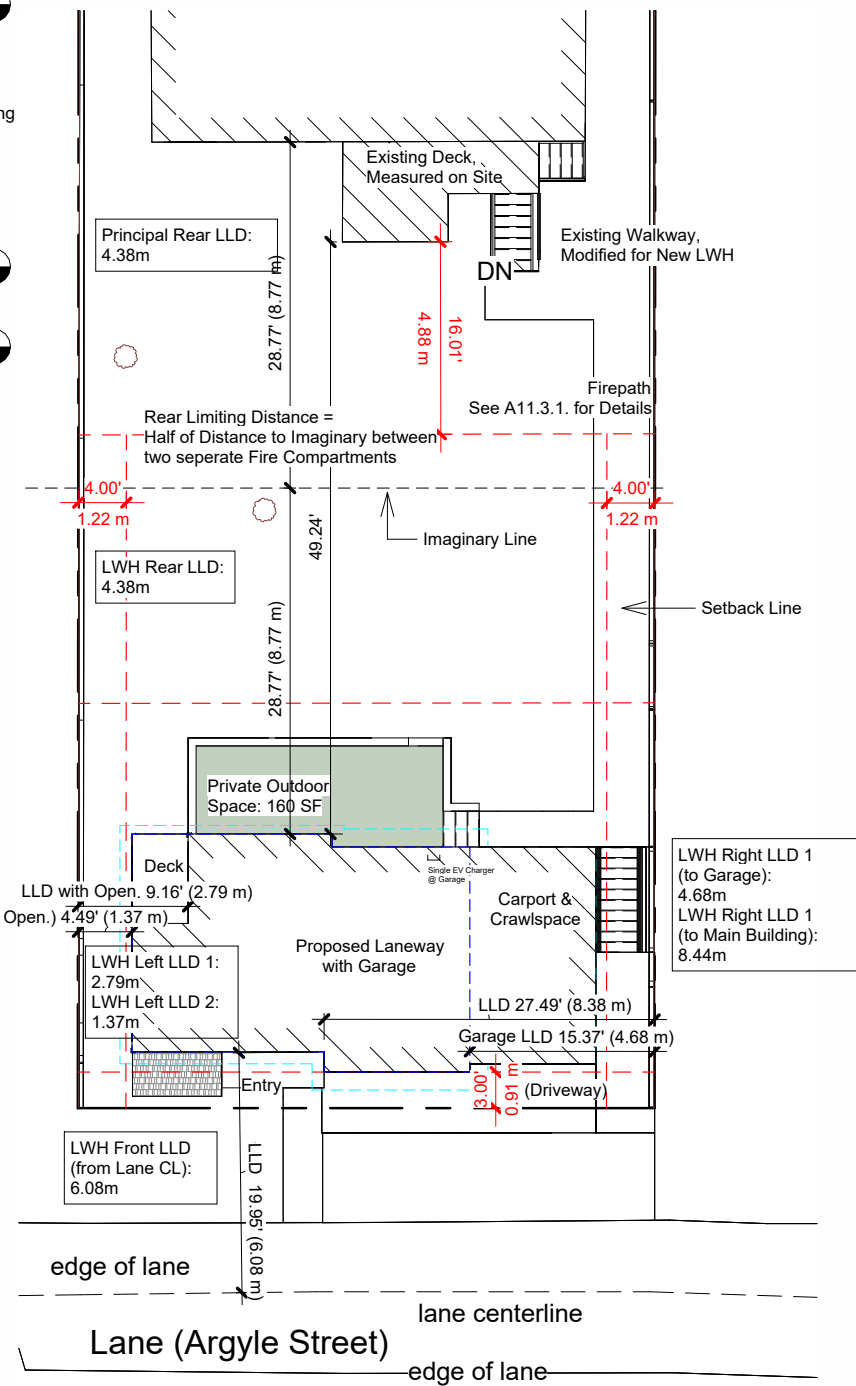
② Left E.B.F. Calculation
1" = 10'-0"



③ Rear EBF Calculation
1" = 10'-0"



④ Right E.B.F. Calculation
1" = 10'-0"

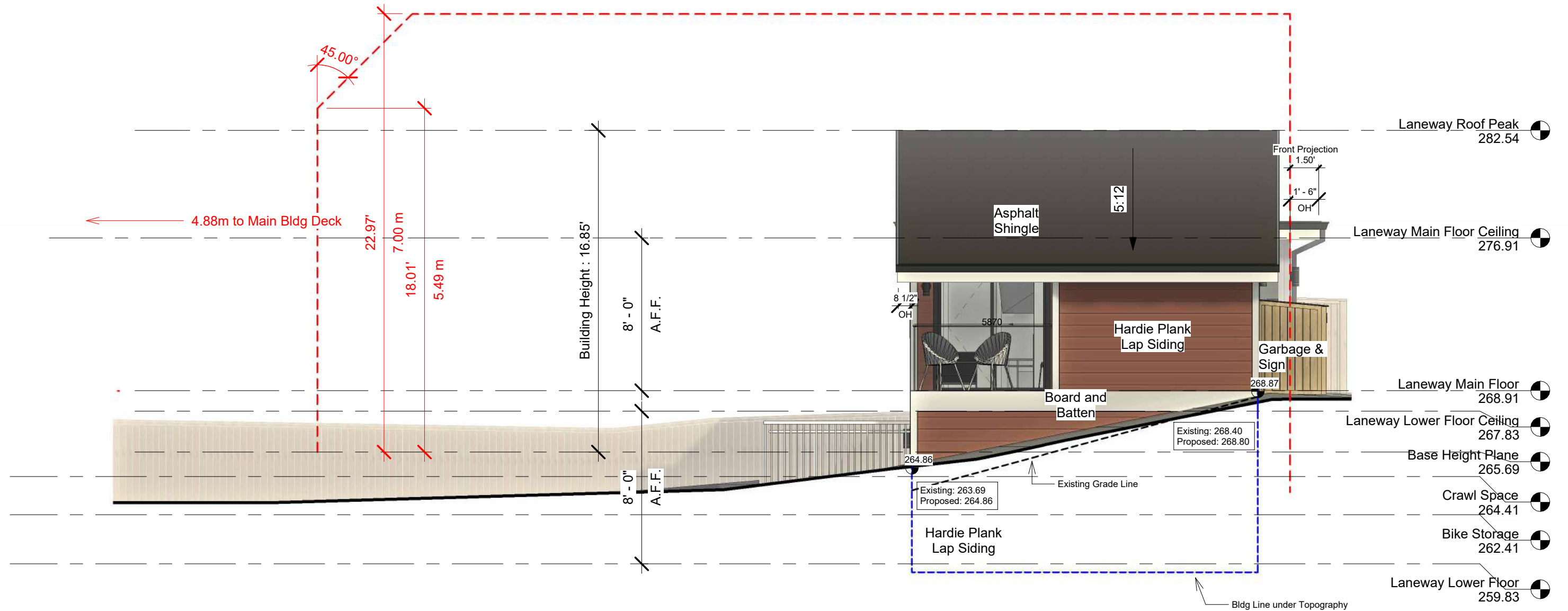


⑤ Limiting Distance Diagram
1/16" = 1'-0"

| No. | Description | Date |
|-----|-------------|------|
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Wall Area Diagram

| | | |
|----------------|--------------|------------------------------------|
| Project number | 1610 | A17.2 Scale As indicated |
| Date | Oct 26, 2023 | |
| Drawn by | Author | |
| Checked by | Checker | |



1 Left Laneway Elevation
3/16" = 1'-0"

| LWH - Left | | Building Face Area (SqM) | | | 16.92 |
|-------------------------|--------------|--------------------------|---|-------------------|------------|
| Quantity | Window Width | Window Height | Window Area (SqIn) | Window Area (SqM) | |
| | 1 | 68 | 84 | 5712 | 3.68515392 |
| Total Window Area (SqM) | 3.6852 | | Percentage Openings (Windows/Building Face) | | 21.78% |
| Limiting Distance (m) | 2.79m | | Maximum Allowable Percentage | | 22.67% |



Body: Fibre Cement Board/Smooth Rafter Brown - James Hardie 'Dream Collection'
Finish: Painted
- Hardie 'Smooth' Horizontal Siding



Body: AL13 Panels SD302 Cobblestone AL 13 Panels
Finish: Painted



Windows (at Body 1):
Finish: Satin Pearl
- Trim : Colour Match to Rafter Brown James Hardie 'Dream Collection'
- Sashes : White Vinyl
Pure White SW7006 Sherwin Williams



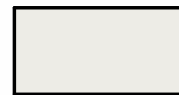
Windows (at Body 2):
Finish: Satin Pearl
- Trim : Flush Mounted
- Sashes : White Vinyl
Pure White SW7006 Sherwin Williams



Doors :
Iron Ore SW7069 Sherwin Williams
Finish: High Gloss
- at Body 2 : Flush Mounted



Roof:
- Sloped Roof : Black Asphalt Shingle
- Flat Roof : Standard Flat Roof Touch



Eaves and Soffit:
Pure White SW7006 Sherwin Williams
Finish:
- Eaves: Satin Pearl
- Soffit: Vinyl



Railings: Vinyl Aluminum
Finish: Painted
- General: Pure White SW7006 Sherwin Williams
- Balcony: Iron Ore SW7069 Sherwin Williams, w/ Glass Panel



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Slivercrest Custom
Homes and Reno
914 Fourth Street

| No. | Description | Date |
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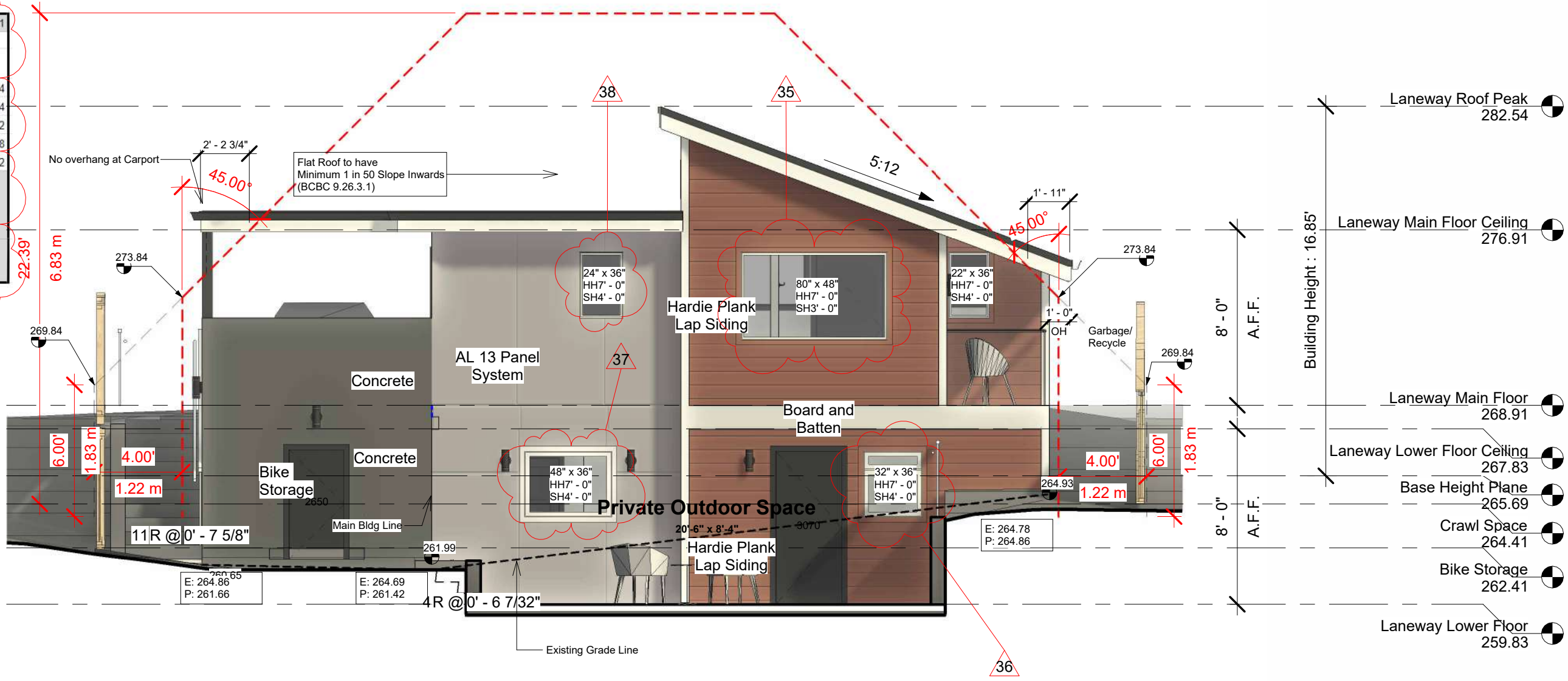
Left Elevation

Project number 1610
Date May 17, 2023
Drawn by JG
Checked by Approver

A18

Scale As indicated

| LWH - Rear | | Building Face Area (SqM) | | 34.31 | |
|-------------------------|--------------|--------------------------|---|-------------------|---------|
| Quantity | Window Width | Window Height | Window Area (SqIn) | Window Area (SqM) | |
| 1 | 24 | 36 | 864 | 0.55741824 | |
| 1 | 80 | 48 | 3840 | 2.4774144 | |
| 1 | 22 | 36 | 792 | 0.51096672 | |
| 1 | 48 | 36 | 1728 | 1.11483648 | |
| 1 | 32 | 36 | 1152 | 0.74322432 | |
| Total Window Area (SqM) | | 5.40 | Percentage Openings (Windows/Building Face) | | 15.75% |
| Limiting Distance (m) | | 8.77m | Maximum Allowable Percentage | | 100.00% |



1 Rear Laneway Elevation
3/16" = 1'-0"

- Body: Fibre Cement Board/Smooth
Rafter Brown - James Hardie 'Dream Collection'
Finish: Painted
- Hardie 'Smooth' Horizontal Siding
- Body: AL13 Panels
SD302 Cobblestone AL 13 Panels
Finish: Painted
- Windows (at Body 1):
Finish: Satin Pearl
- Trim : Colour Match to
Rafter Brown James Hardie 'Dream Collection'
- Sashes : White Vinyl
Pure White SW7006 Sherwin Williams
- Windows (at Body 2):
Finish: Satin Pearl
- Trim : Flush Mounted
- Sashes : White Vinyl
Pure White SW7006 Sherwin Williams
- Doors :
Iron Ore SW7069 Sherwin Williams
Finish: High Gloss
- at Body 2 : Flush Mounted
- Roof:
- Sloped Roof : Black Asphalt Shingle
- Flat Roof : Standard Flat Roof Touch
- Eaves and Soffit:
Pure White SW7006 Sherwin Williams
Finish:
- Eaves: Satin Pearl
- Soffit: Vinyl
- Railings: Vinyl Aluminum
Finish: Painted
- General: Pure White SW7006 Sherwin Williams
- Balcony: Iron Ore SW7069 Sherwin Williams, w/ Glass Panel

D3

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Homes and Reno

914 Fourth Street

| No. | Description | Date |
|-----|------------------------------|------------------|
| 35 | Window size changed | October 26, 2023 |
| 36 | Window size changed | October 26, 2023 |
| 37 | Window size changed | October 26, 2023 |
| 38 | Window size changed | October 26, 2023 |
| 40 | Spatial calculations updated | October 26, 2023 |

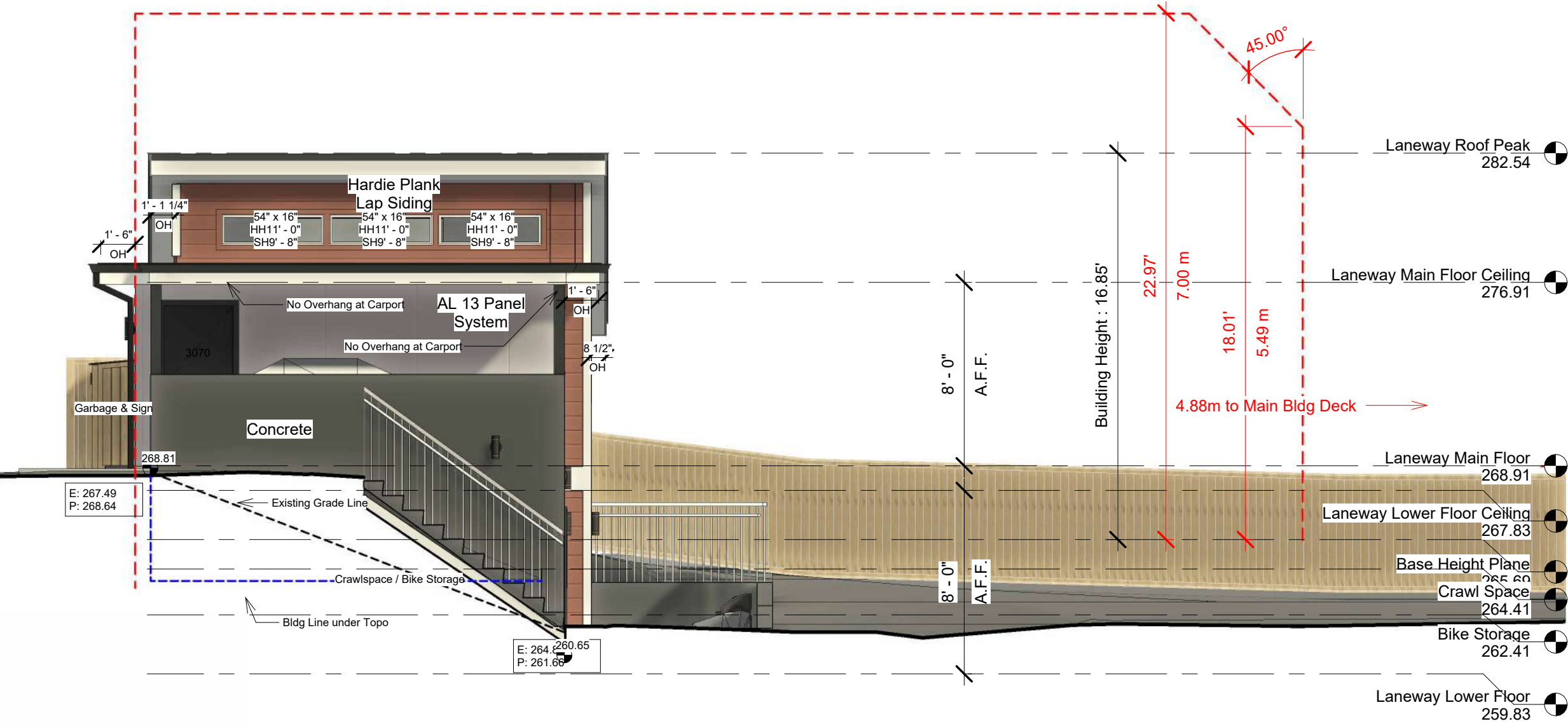
Rear Elevation

Project number 1610
Date Oct 26, 2023
Drawn by JG
Checked by JG

A19
Scale As indicated

| | | | | |
|-------------------------|--------------|---|--------------------|-------------------|
| LWH - Right | | Building Face Area (SqM) | | 9.99 |
| Quantity | Window Width | Window Height | Window Area (SqIn) | Window Area (SqM) |
| 3 | 54 | 16 | 2592 | 1.67225472 |
| Total Window Area (SqM) | 1.6723 | Percentage Openings (Windows/Building Face) | | 16.74% |
| Limiting Distance (m) | 8.38m | Maximum Allowable Percentage | | 100.00% |

| | | | | |
|-------------------------|--------------|---|--------------------|-------------------|
| LWH - Garage Right | | Building Face Area (SqM) | | 9.86 |
| Quantity | Window Width | Window Height | Window Area (SqIn) | Window Area (SqM) |
| 1 | 30 | 70 | 2100 | 1.4 |
| Total Window Area (SqM) | 1.3548 | Percentage Openings (Windows/Building Face) | | 13.74% |
| Limiting Distance (m) | 4.68m | Maximum Allowable Percentage | | 55.66% |



1 Right Laneway Elevation
3/16" = 1'-0"

| | | | | | | | |
|--|---|--|--|--|---|--|---|
| | Body: Fibre Cement Board/Smooth Rafter Brown - James Hardie 'Dream Collection' Finish: Painted - Hardie 'Smooth' Horizontal Siding | | Body: AL13 Panels SD302 Cobblestone AL 13 Panels Finish: Painted | | Windows (at Body 1): Finish: Satin Pearl - Trim : Colour Match to Rafter Brown James Hardie 'Dream Collection' - Sashes : White Vinyl Pure White SW7006 Sherwin Williams | | Windows (at Body 2): Finish: Satin Pearl - Trim : Flush Mounted - Sashes : White Vinyl Pure White SW7006 Sherwin Williams |
| | Doors : Iron Ore SW7069 Sherwin Williams Finish: High Gloss - at Body 2 : Flush Mounted | | Roof: - Sloped Roof : Black Asphalt Shingle - Flat Roof : Standard Flat Roof Touch | | Eaves and Soffit: Pure White SW7006 Sherwin Williams Finish: - Eaves: Satin Pearl - Soffit: Vinyl | | Railings: Vinyl Aluminum Finish: Painted - General: Pure White SW7006 Sherwin Williams - Balcony: Iron Ore SW7069 Sherwin Williams, w/ Glass Panel |

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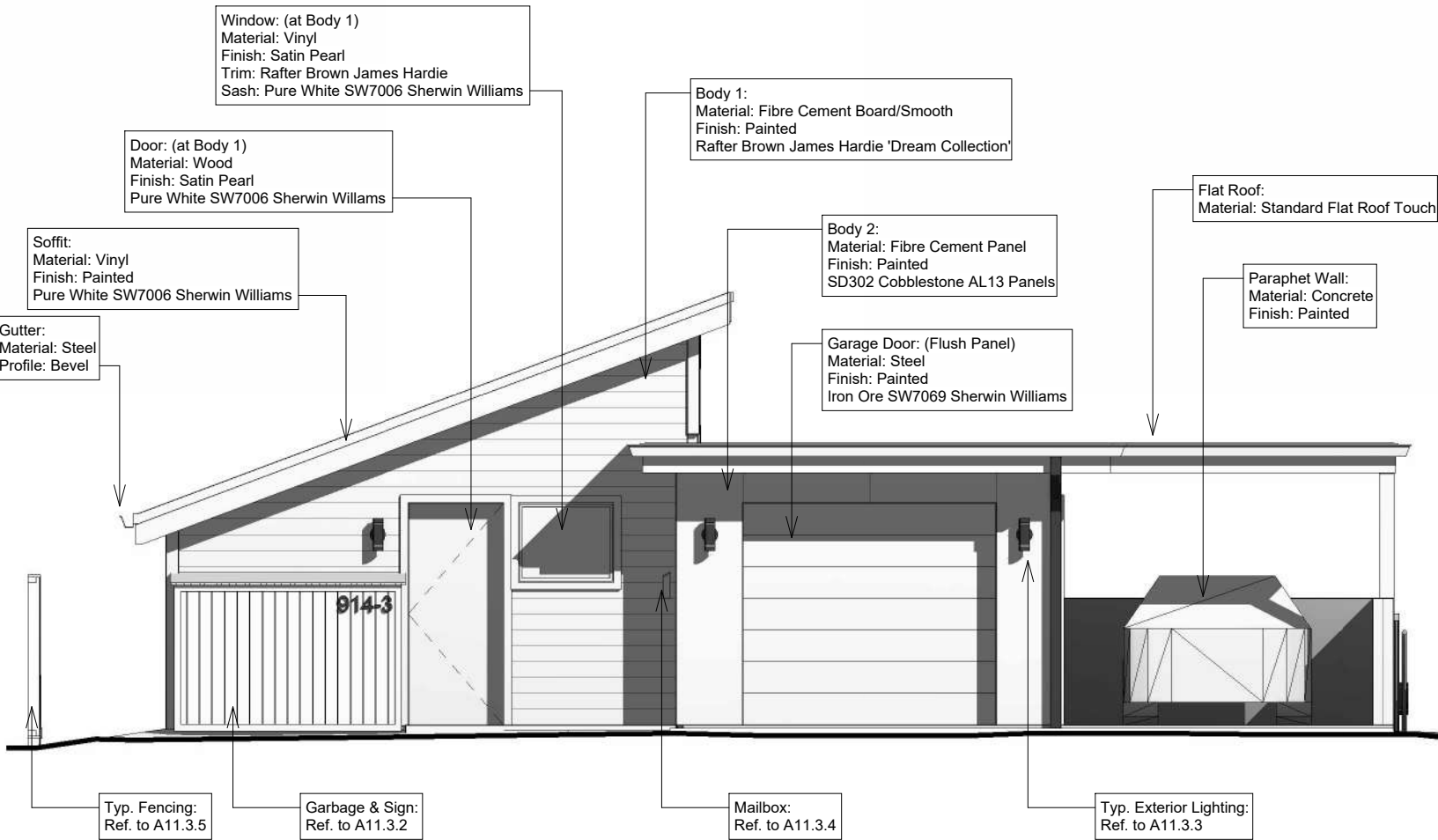
Slivercrest Custom Homes and Reno

914 Fourth Street

| No. | Description | Date |
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Right Elevation

| | | |
|--------------------|--------------|-----|
| Project number | 1610 | A20 |
| Date | Oct 26, 2023 | |
| Drawn by | JG | |
| Checked by | JG | |
| Scale As indicated | | |



1 Front Material Elevation
3/16" = 1'-0"

Body: Fibre Cement Board/Smooth
Rafter Brown - James Hardie 'Dream Collection'
Finish: Painted
- Hardie 'Smooth' Horizontal Siding

Body: AL13 Panels
SD302 Cobblestone AL 13 Panels
Finish: Painted

Windows (at Body 1):
Finish: Satin Pearl
- Trim : Colour Match to
Rafter Brown James Hardie 'Dream Collection'
- Sashes : White Vinyl
Pure White SW7006 Sherwin Williams

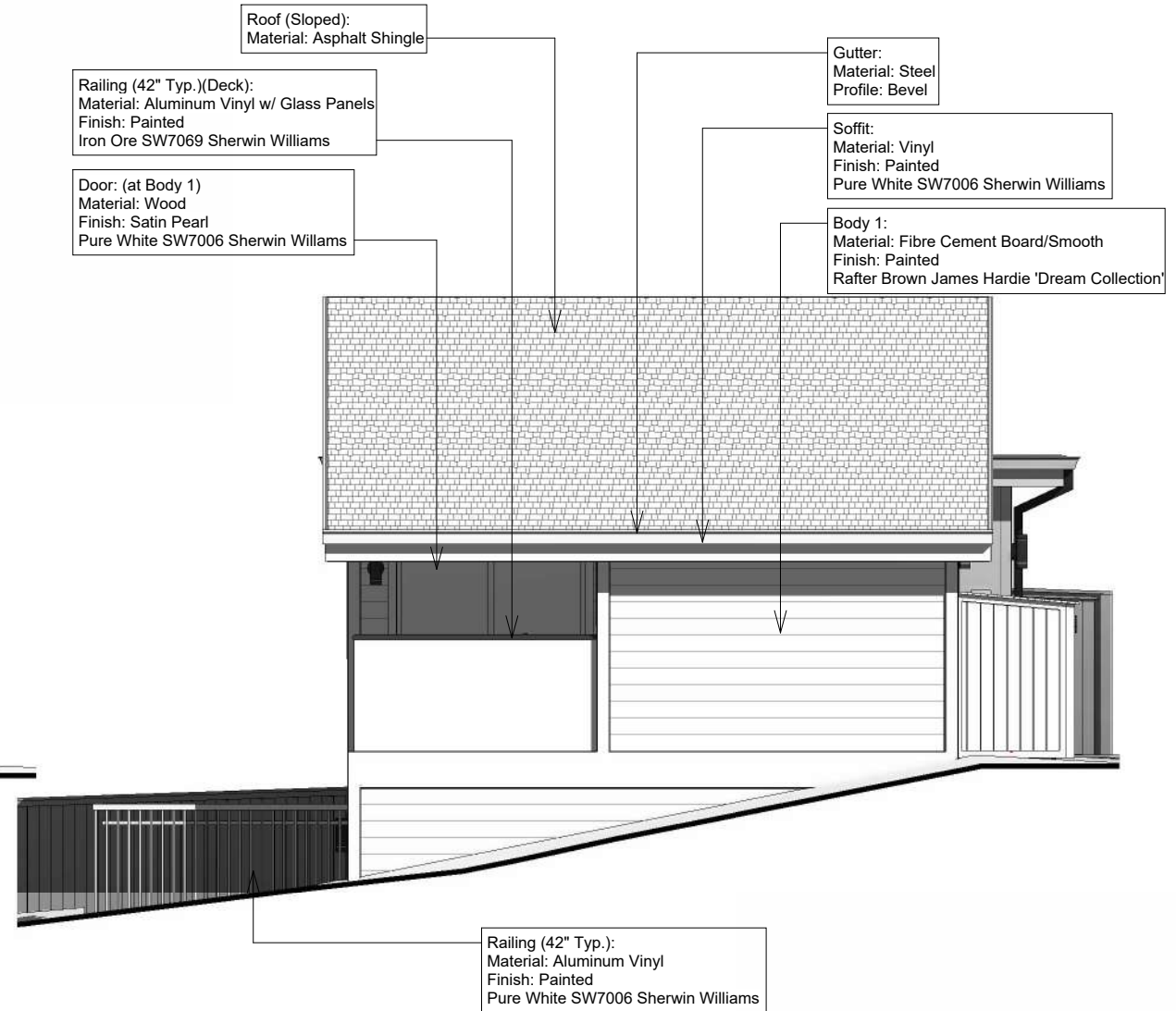
Doors :
Iron Ore SW7069 Sherwin Williams
Finish: High Gloss
- at Body 2 : Flush Mounted

Roof:
- Sloped Roof : Black Asphalt Shingle
- Flat Roof : Standard Flat Roof Touch

Eaves and Soffit:
Pure White SW7006 Sherwin Williams
Finish:
- Eaves: Satin Pearl
- Soffit: Vinyl

Windows (at Body 2):
Finish: Satin Pearl
- Trim : Flush Mounted
- Sashes : White Vinyl
Pure White SW7006 Sherwin Williams

Railings: Vinyl Aluminum
Finish: Painted
- General: Pure White SW7006 Sherwin Williams
- Balcony: Iron Ore SW7069 Sherwin Williams, w/ Glass Panel



2 Left Material Elevation Elevation
3/16" = 1'-0"



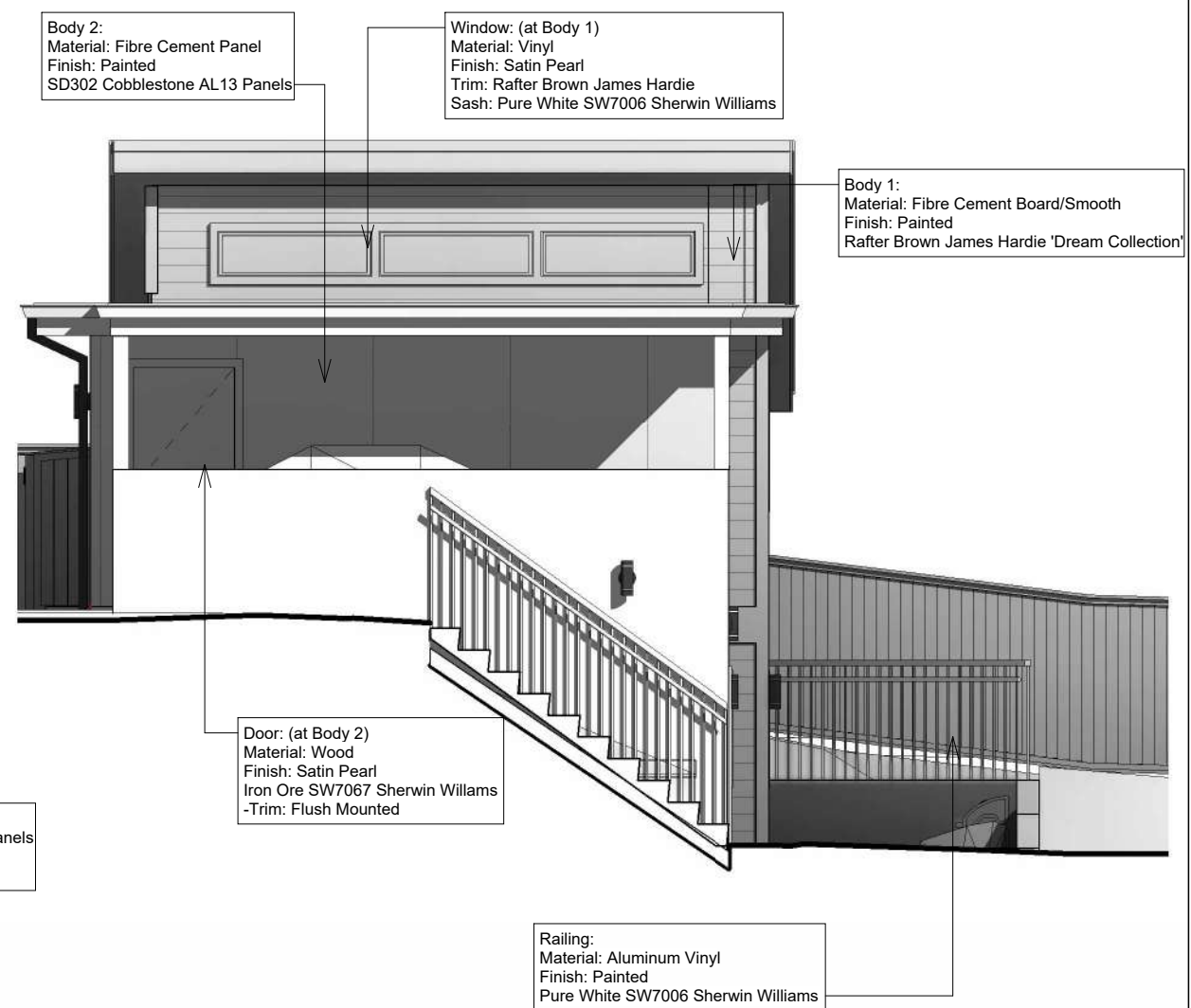
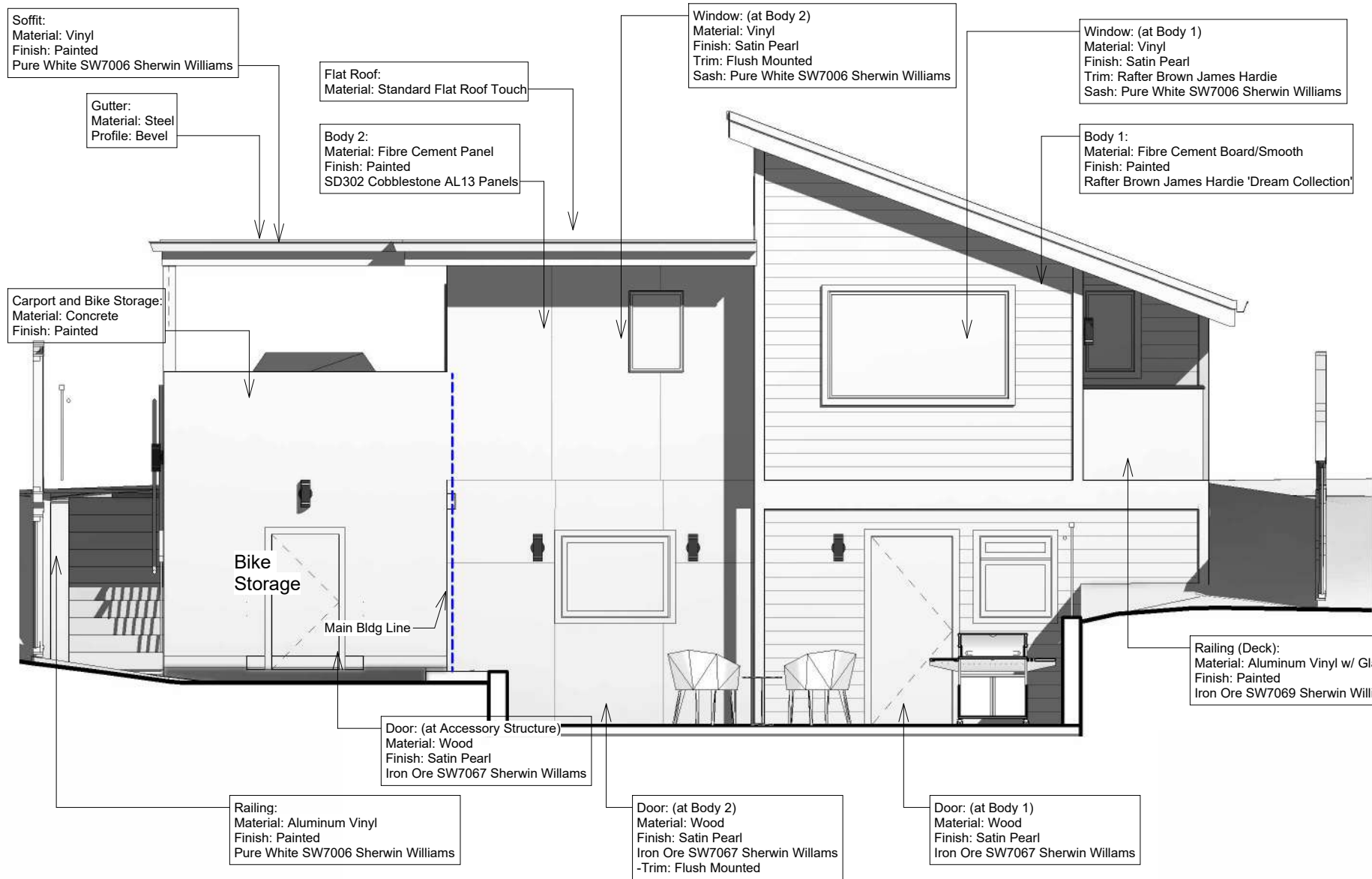
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| No. | Description | Date |
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Front and Left Materials

| | | |
|--------------------|--------------|-----|
| Project number | 1610 | A21 |
| Date | Oct 26, 2023 | |
| Drawn by | Author | |
| Checked by | Checker | |
| Scale As indicated | | |



Body: Fibre Cement Board/Smooth
Rafter Brown - James Hardie 'Dream Collection'
Finish: Painted
- Hardie 'Smooth' Horizontal Siding



Body: AL13 Panels
SD302 Cobblestone AL 13 Panels
Finish: Painted



Windows (at Body 1):
Finish: Satin Pearl
- Trim : Colour Match to Rafter Brown James Hardie 'Dream Collection'
- Sashes : White Vinyl
Pure White SW7006 Sherwin Williams



Windows (at Body 2):
Finish: Satin Pearl
- Trim : Flush Mounted
- Sashes : White Vinyl
Pure White SW7006 Sherwin Williams



Doors :
Iron Ore SW7069 Sherwin Williams
Finish: High Gloss
- at Body 2 : Flush Mounted



Roof:
- Sloped Roof : Black Asphalt Shingle
- Flat Roof : Standard Flat Roof Touch



Eaves and Soffit:
Pure White SW7006 Sherwin Williams
Finish:
- Eaves: Satin Pearl
- Soffit: Vinyl



Railings: Vinyl Aluminum
Finish: Painted
- General: Pure White SW7006 Sherwin Williams
- Balcony: Iron Ore SW7069 Sherwin Williams, w/ Glass Panel



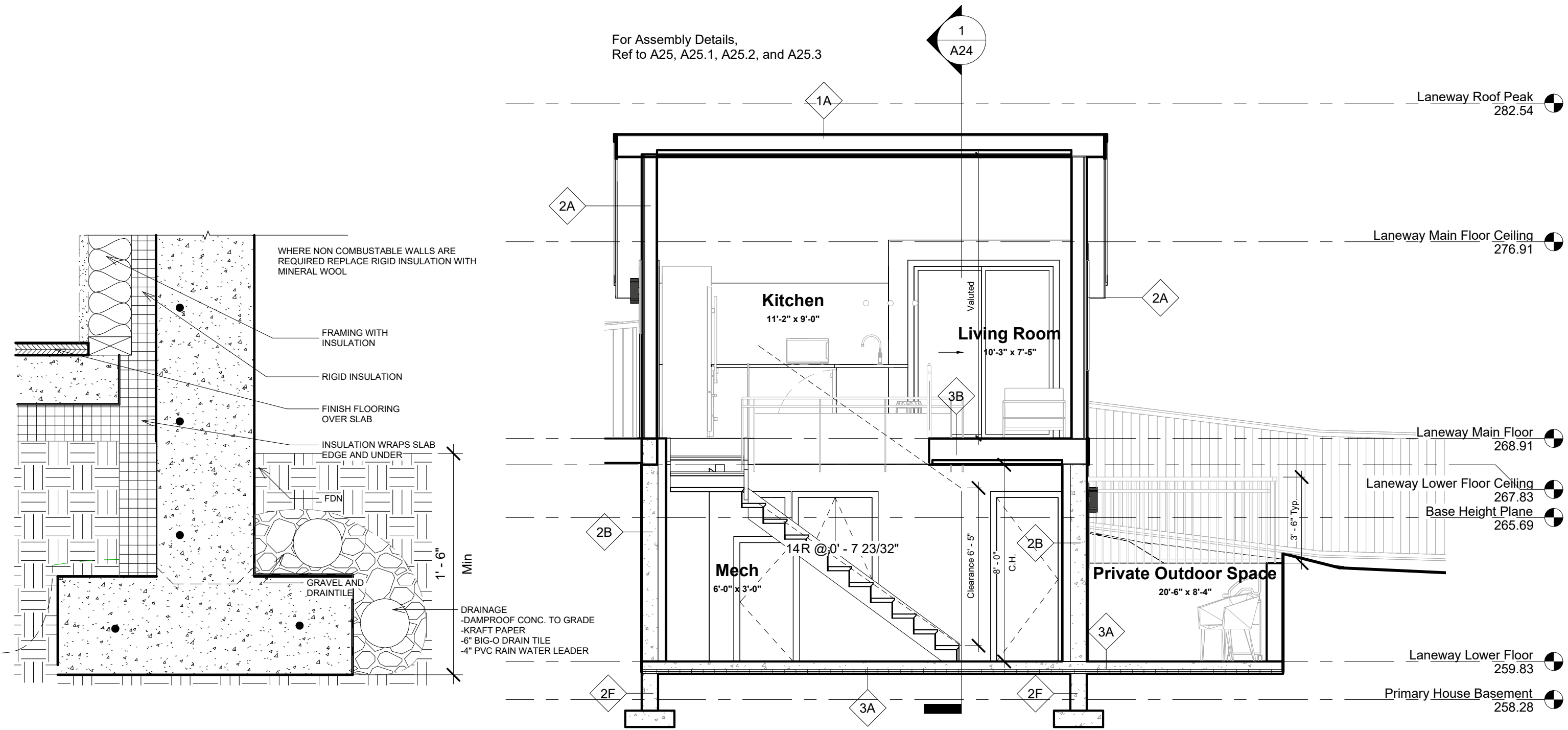
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| Rear and Right Materials | | |
|--------------------------|--------------|--------------------|
| Project number | 1610 | A22 |
| Date | Oct 26, 2023 | |
| Drawn by | Author | |
| Checked by | Checker | |
| | | Scale As indicated |

For Assembly Details,
Ref to A25, A25.1, A25.2, and A25.3



2 Typical Slab On Grade Detail
1 1/2" = 1'-0"

1 Section 1
1/4" = 1'-0"

RSI Values
Above Grade Exterior Walls (2A): R24 BATT (RSI 3.02)
Roofs (1A): R28 BATT (RSI 4.68)
Ceilings(Under Ceiling) (3B, 3C): R28 5" ISO (RSI 4.93)
Foundation Walls (2B): R10 XPS (RSI 3.57)
Headers: R24 BATT (RSI 2.91)
Slabs (3A): R12 Rigid (RSI 2.32)



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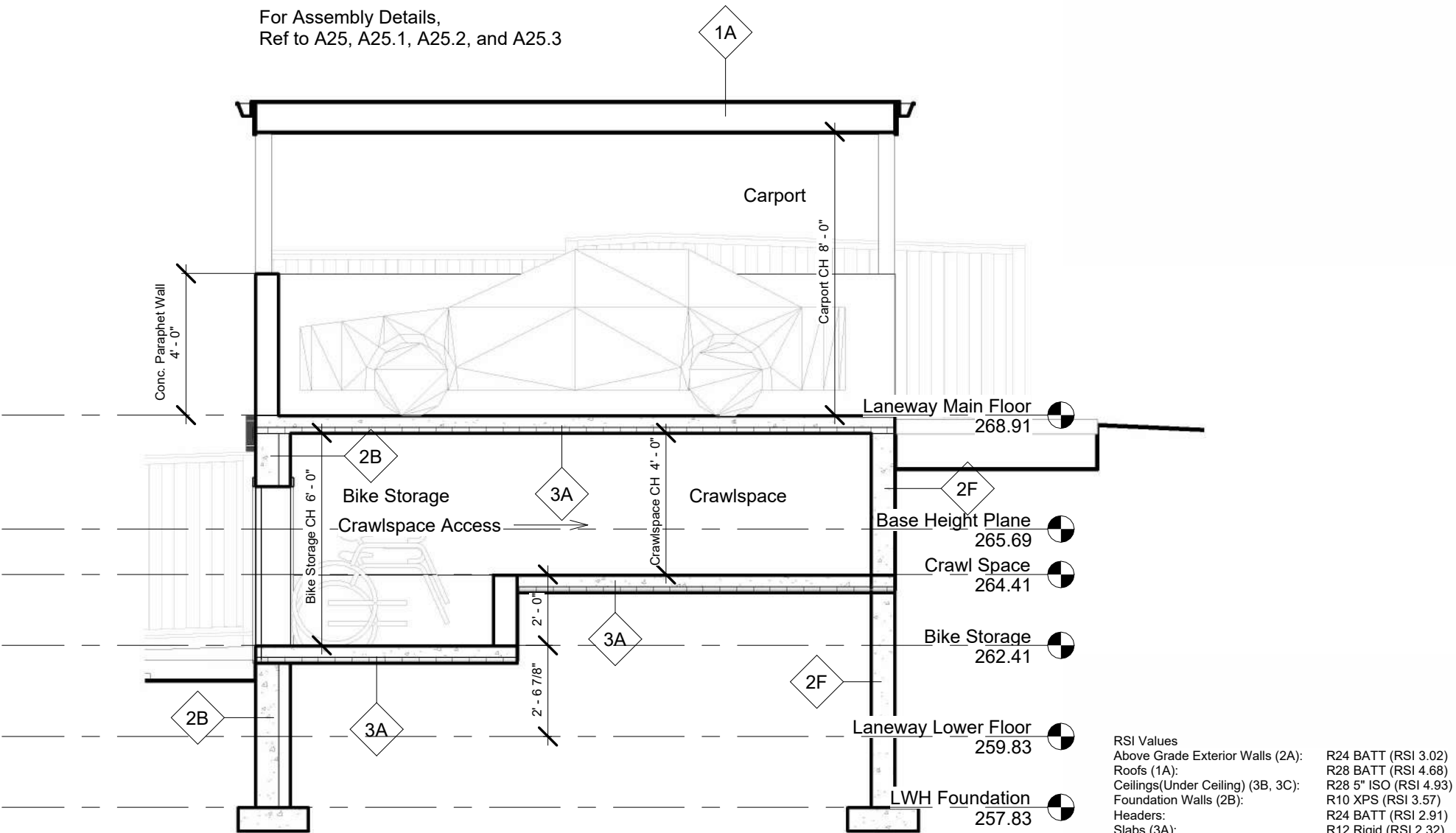
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Section 1

Project number 1610
Date Oct 26, 2023
Drawn by JG
Checked by Checker

A23

Scale As indicated



1 Crawlspace Section
1/4" = 1'-0"



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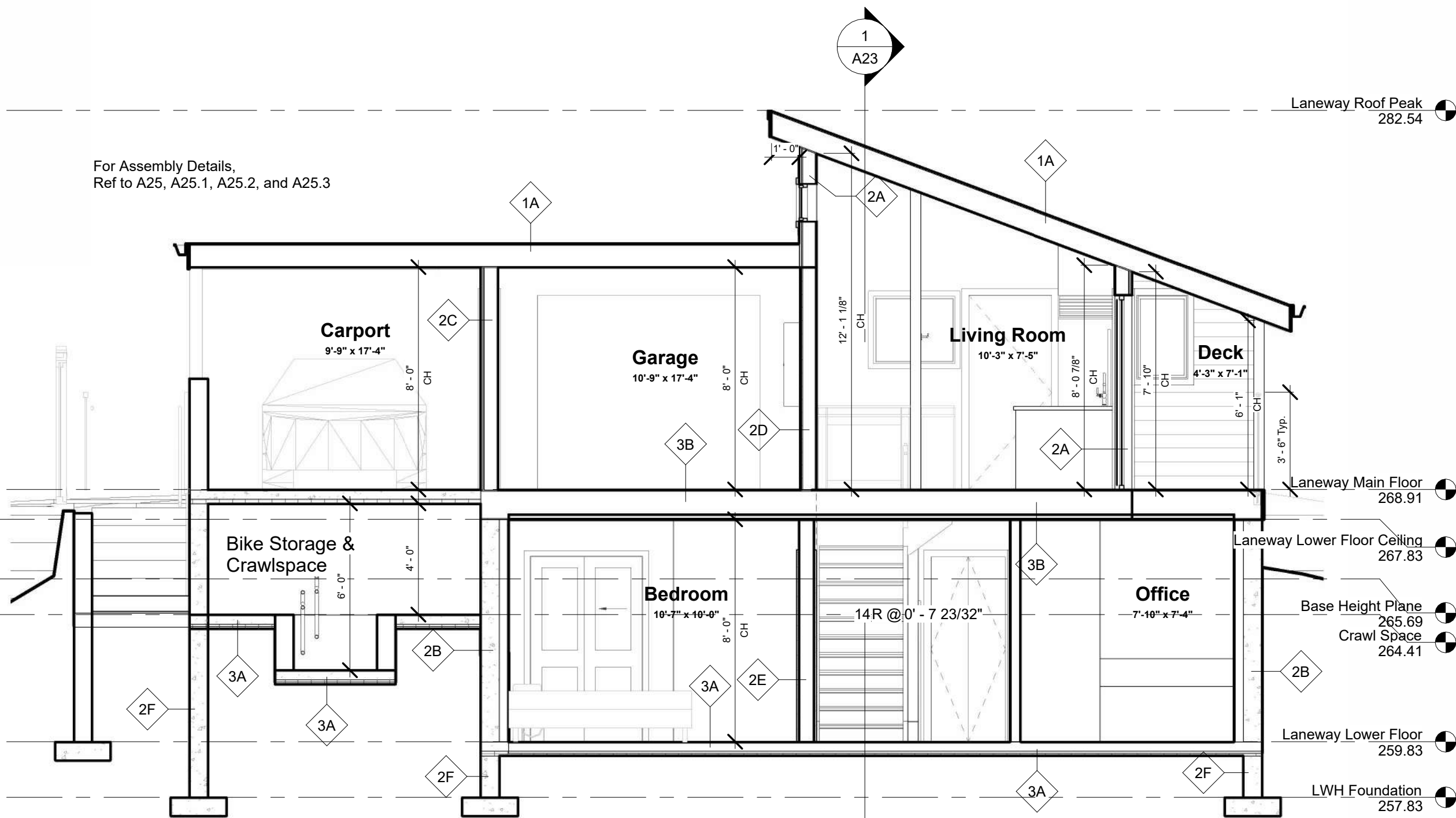
914 Fourth Street

| No. | Description | Date |
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Crawlspace Section

| | | |
|--------------------|--------------|-------|
| Project number | 1610 | A23.1 |
| Date | Oct 26, 2023 | |
| Drawn by | Author | |
| Checked by | Checker | |
| Scale 1/4" = 1'-0" | | |

For Assembly Details,
Ref to A25, A25.1, A25.2, and A25.3



1 Section 2
1/4" = 1'-0"

RSI Values
Above Grade Exterior Walls (2A): R24 BATT (RSI 3.02)
Roofs (1A): R28 BATT (RSI 4.68)
Ceilings(Under Ceiling) (3B, 3C): R28 5" ISO (RSI 4.93)
Foundation Walls (2B): R10 XPS (RSI 3.57)
Headers: R24 BATT (RSI 2.91)
Slabs (3A): R12 Rigid (RSI 2.32)



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Section 2

Project number 1610
Date Oct 26, 2023
Drawn by JG
Checked by Checker

A24

Scale 1/4" = 1'-0"

1A

TYPICAL CATHEDRAL ROOF & DECK

- BUILT UP ROOFING FOR LOW SLOPE APPLICATION
- #15 ROOFING FELT
- 1/2" PLYWOOD SHEATHING
- PROVIDE "H" CLIPS AT SEAMS (IF NEEDED)
- ENG'D 2"x10" TRUSS @ 24" O.C. W/ R28 BATT INSULATION (RSI 4.68)
- GUTTERS W/ GUTTER GUARDS
- 2"x6" SUB FASCIA
- 2"x8" SINGLE FACE COMB FASCIA
- PERFORATED SOFFIT FINISH FOR CONTINUITY

1B

TYPICAL EAVE OVERHANG

- CONTINUE EAVE PROTECTION 12"INTERIOR FACE OF WALL
- GUTTERS W/ GUTTER GUARDS
- 2"x6" SUB FASCIA
- 2"x8" SINGLE FACED COMB FASCIA
- PERFORATED SOFFIT FINISH TO PROMOTE VENTILATION

2A

TYPICAL EXTERIOR WALLS

- CLADDING MATERIAL AS PER ELEVATIONS
- RAIN SCREEN W/ MIN. 3/4" STRAPPING U.N.O.
- BUILDING WRAP
- 1/2" PLYWOOD SHEATHING
- 2x6 @ 16" O.C. W/ R24 BATT INSULATION (RSI 3.02)
- 6 MIL. POLY V.B.
- 1/2" GYPSUM WALL BOARD

2B

TYPICAL EXTERIOR FOUNDATION WALLS

- 8" ICF CONSTRUCTION
- 2" R10 XPS
- CONT. POLY V.B.
- 2x4 @ 16" O.C. W/ R14 BATT (RSI 3.57)
- 1/2" GYPSUM WALLBOARD

2C

TYPICAL GARAGE EXTERIOR WALLS

- CLADDING MATERIAL AS PER ELEVATION
- RAIN SCREEN W/ MIN. 3/4" STRAPPING U.N.O.
- BUILDING WRAP
- 1/2" PLYWOOD SHEATHING
- 2x6 @ 24" O.C.
- 6 MIL. POLY V.B.
- 1/2" GYPSUM WALLBOARD

2D

TYPICAL GARAGE/DWELLING SEPERATION WALLS

- 1/2" GYPSUM WALLBOARD
- 1/2" EXTERIOR RIGID INSULATION
- 2x6 @ 16" O.C.
- 1/2" GYPSUM WALLBOARD

2E

TYPICAL INTERIOR PARTITION WALLS

- TYPE X GYPSUM WALL BOARD BOTH SIDES
- 2"x4" OR 2"x6" STUDS @ 16" O.C.

2F

TYPICAL FOUNDATION WALLS

- 8" ICF CONSTRUCTION
- CONT. 6MIL POLY V.B.
- GYPSUM WALLBOARD
- ENG'D CONCRETE STRIP FOOTING
- 6" MIN. DRAIN ROCK
- 4" PERIMETER DRAIN

3A

TYPICAL S.O.G. FLOOR

- FINISH FLOORING
- 4" CONCRETE SLAB (UNHEATED)
- R12 RIGID INSULATION (RSI 2.32)
- COARSE, CLEAN GRANULAR FILL (CAPILLARY BREAK)
- UNDISTURBED SOIL
- 1" GAP BETWEEN SLAB AND FOUNDATION WALL
- FILLED W/EXTRUDED POLYSTYRENE AGAINST WALL
- SEALANT
- EXTEND DAMPROOFING TO EDGE OF FOOTING AND UNDER WALL AS CAPILLARY BREAK

3B

TYPICAL WOOD FLOOR (SUSPENDED)

- FINISH FLOORING
- 1/2" T&G PLYWOOD SHEATHING (GLUED & NAILED)
- 11 7/8 TJI JOISTS @ 16" O.C. W/ R-28 5" ISO (RSI 4.93)
- G.W.B. FOR UNDERSIDE OF JOISTS

3C

TYPICAL DECK FLOOR (SUSPENDED)

- FINISH FLOORING
- 1/2" T&G PLYWOOD SHEATHING (GLUED & NAILED)
- 6MIL POLY V.B.
- 11 7/8" TJI JOISTS W/ R-28 5" ISO (RSI 4.93)
- G.W.B. FOR UNDERSIDE OF JOISTS

4

FENESTRATION

- DOORS TO BE USI 1.8 OR BETTER
- WINDOWS TO BE USI 1.4 OR BETTER
- 0.35 SHGC OR BETTER

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A STRUCTURAL ENGINEER IS REQUIRED TO PROVIDE SEISMIC SOUTIONS AND CERTIFY THUIS DESIGN UNDER PART 4 OR THE B.C. BUILDING CODE 2018 ED. ALL STRUCTURAL ENGINEERING MUST BE ON A SEPERATE SET OF DRAWINGS PRODUCED BY THE ENGINEER.

THESE PLANS CONFORM TO THE B.C. BUILDING CODE 2018 ED.

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Proposed Assemblies to Comply with BC Energy Step Code 3

RSI Values
Above Grade Exterior Walls (2A): R24 BATT (RSI 3.02)
Roofs (1A): R28 BATT (RSI 4.68)
Ceilings(Under Ceiling) (3B, 3C): R28 5" ISO (RSI 4.93)
Foundation Walls (2B): R10 XPS (RSI 3.57)
Headers: R24 BATT (RSI 2.91)
Slabs (3A): R12 Rigid (RSI 2.32)



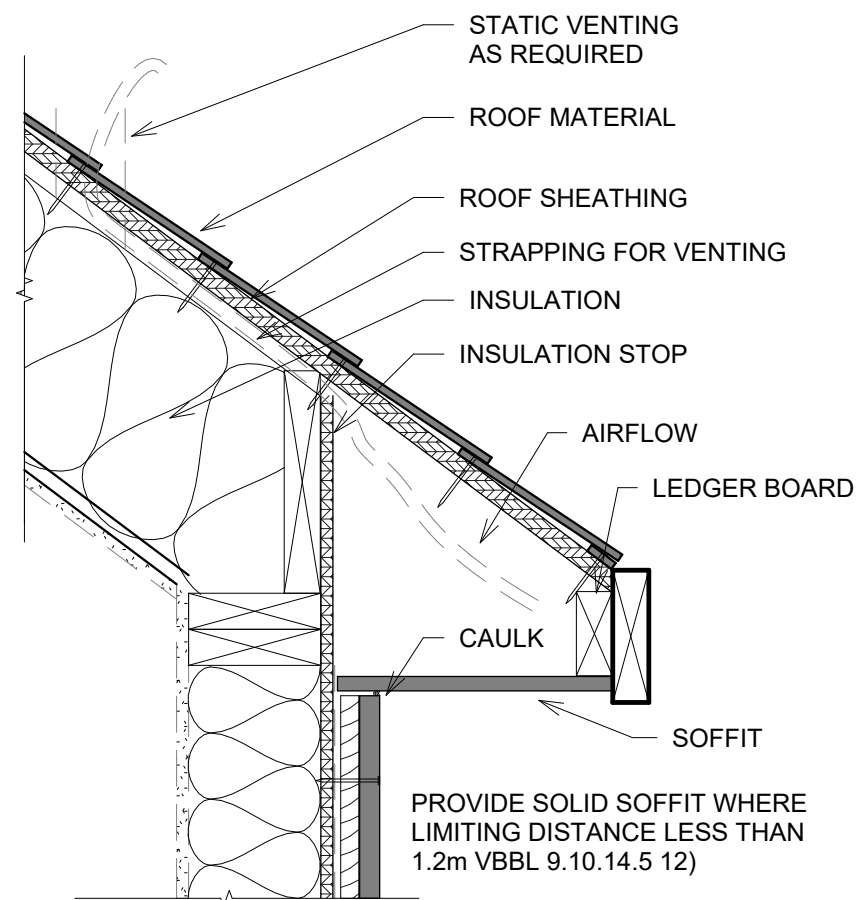
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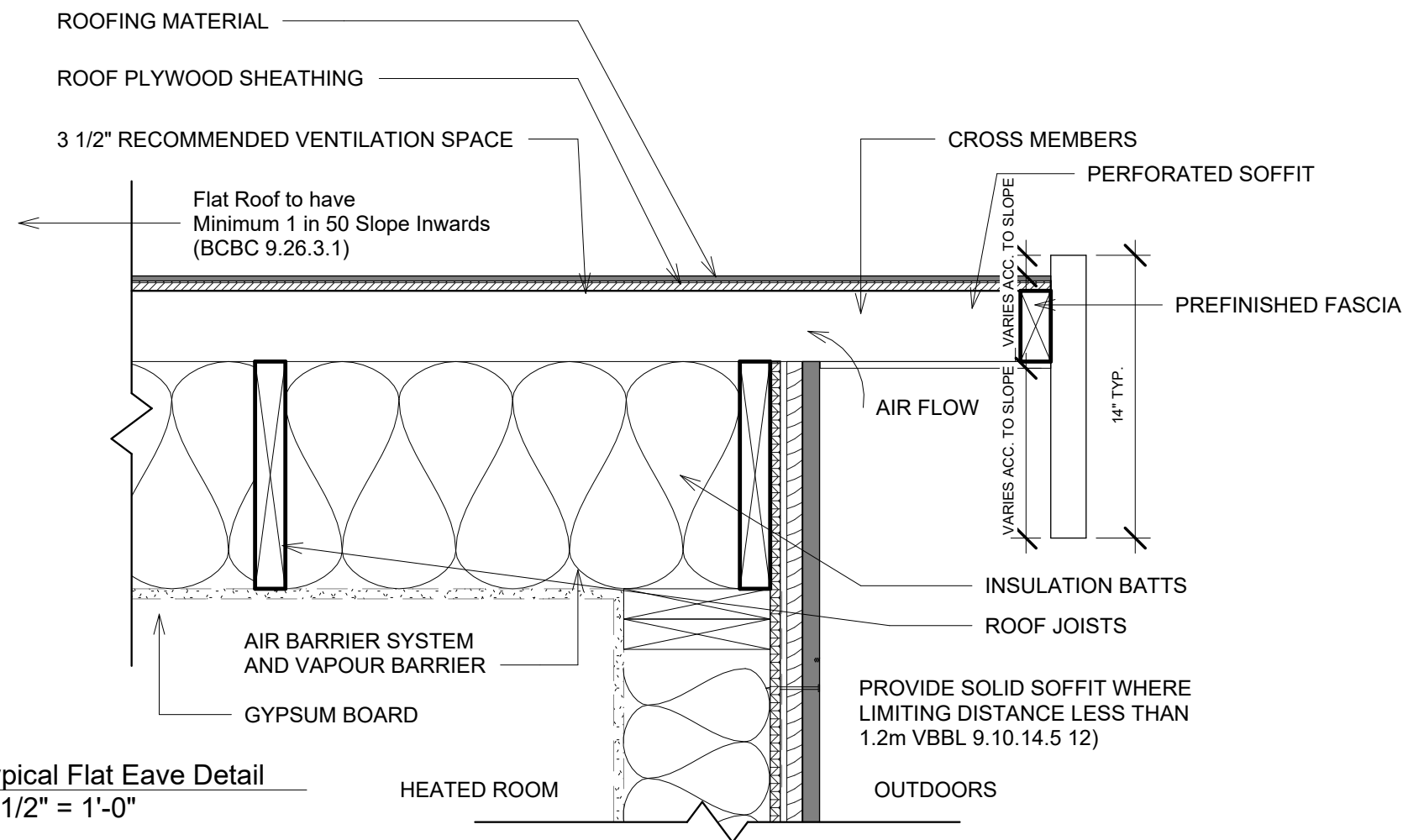
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Assemblies

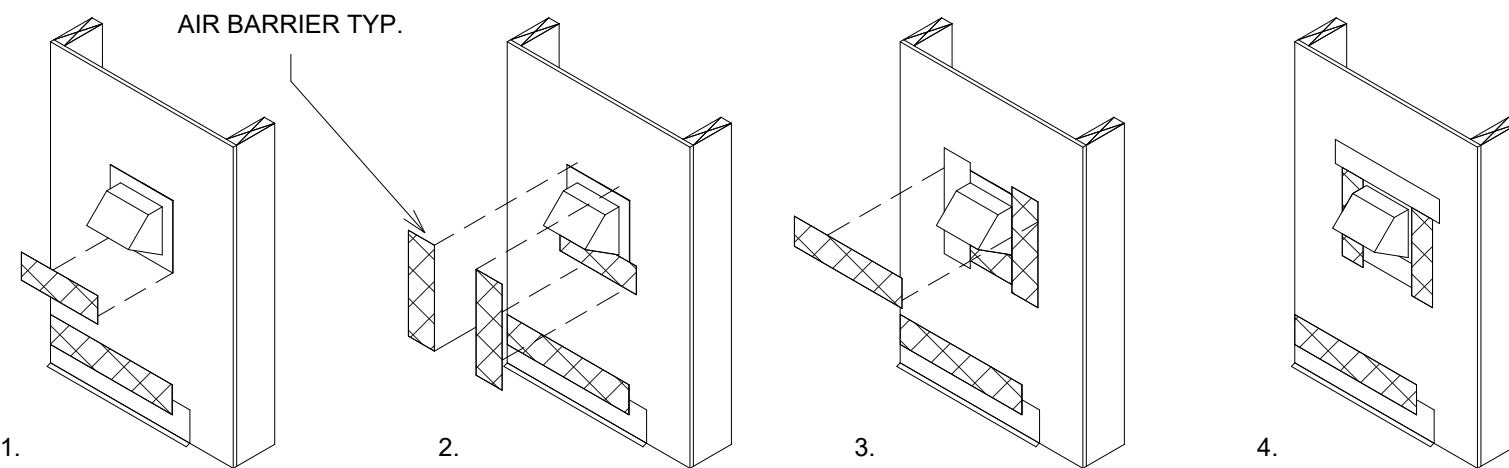
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| Project number | 1610 | A25 |
| Date | Oct 26, 2023 | |
| Drawn by | Author | |
| Checked by | Checker | |
| Scale | | 3" = 1'-0" |



① Sloped Roof Detail
1 1/2" = 1'-0"



② Typical Flat Eave Detail
1 1/2" = 1'-0"

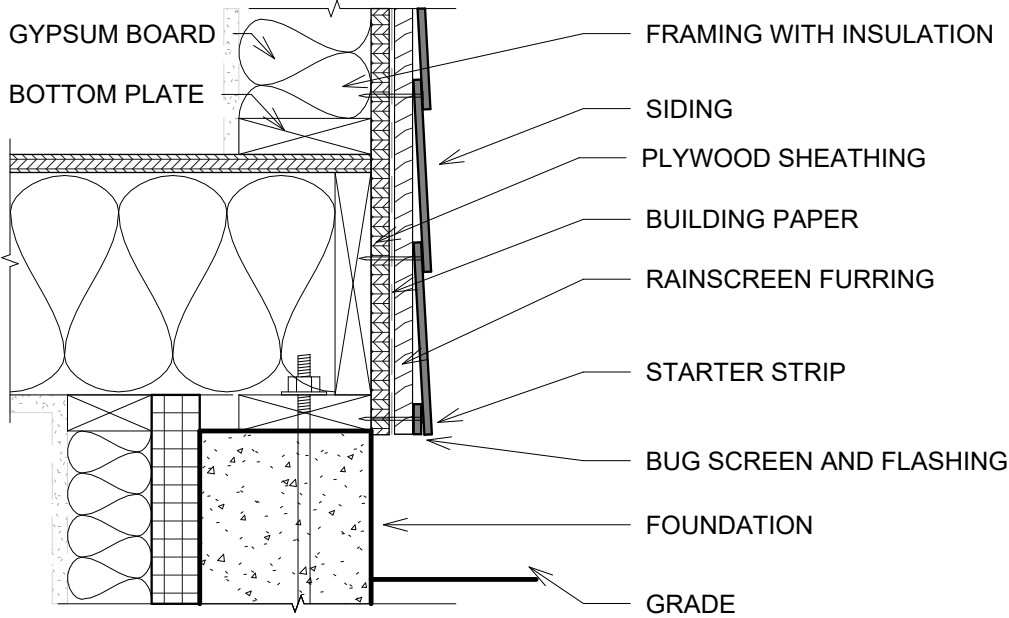


③ Vent
1/2" = 1'-0"

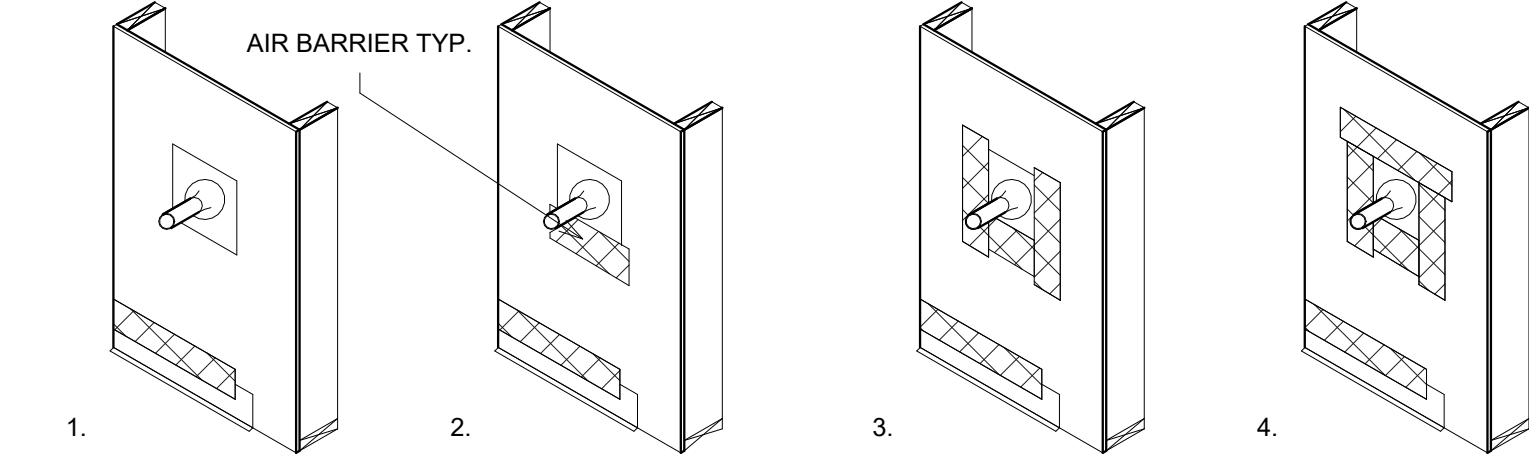
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Details 1

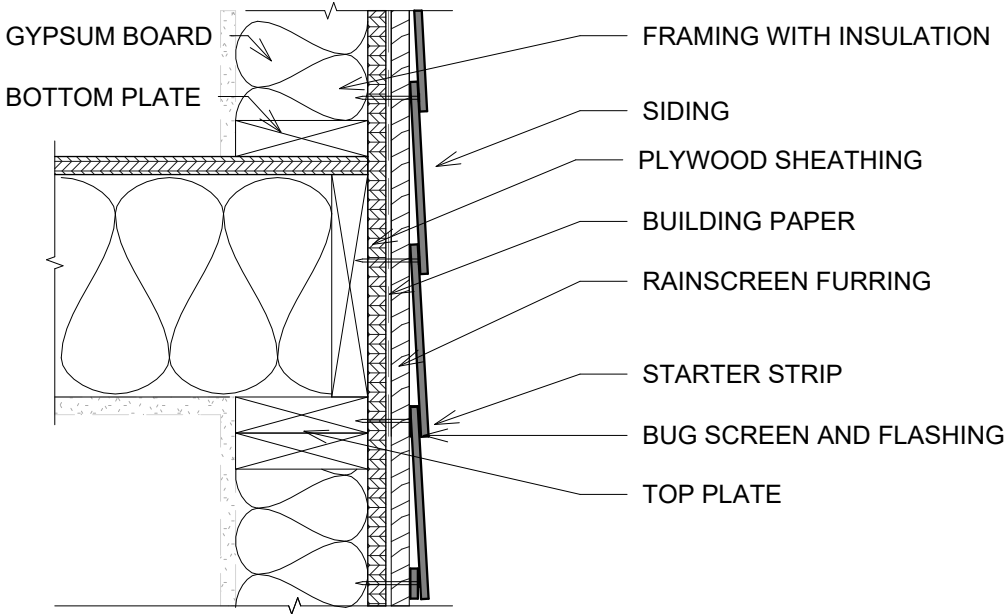
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| Project number | 1610 | A25.1 Scale As indicated |
| Date | Oct 26, 2023 | |
| Drawn by | KM | |
| Checked by | Checker | |



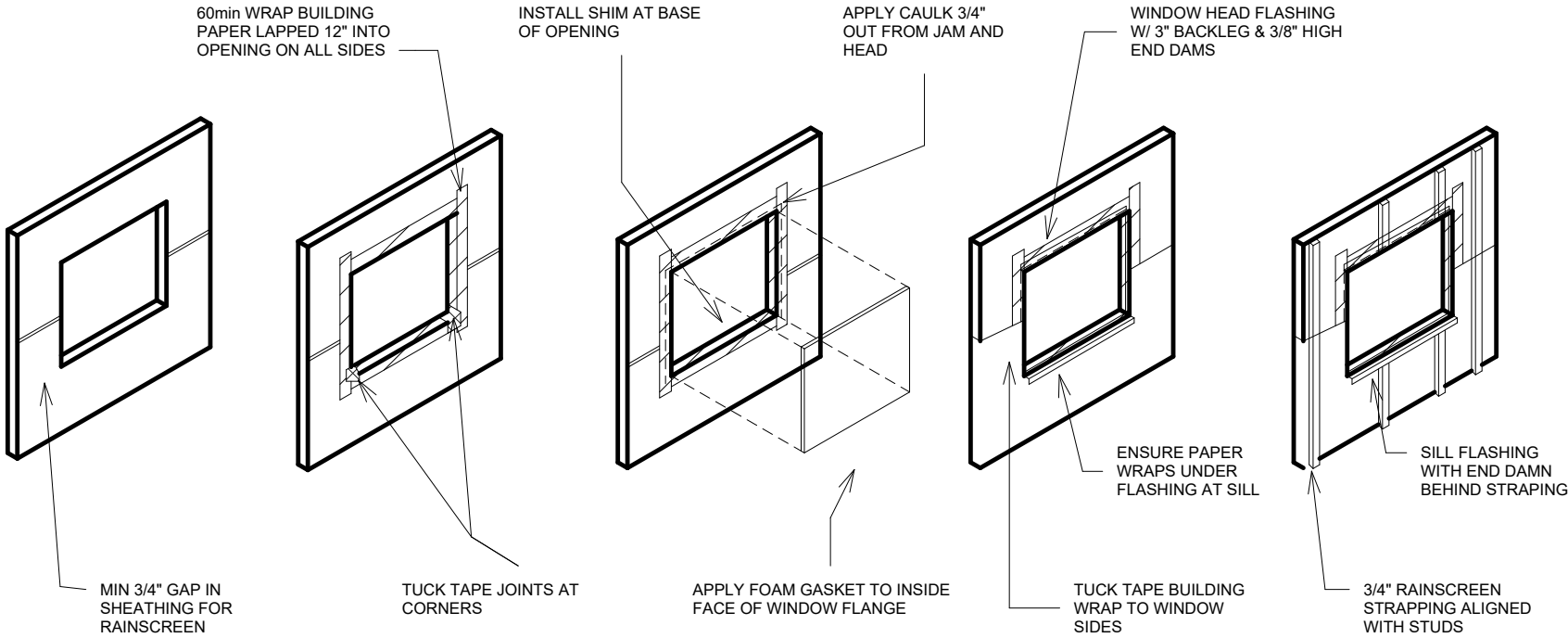
1 Foundation Floor Wall connection Detail
1 1/2" = 1'-0"



3 Hose Bib
1/2" = 1'-0"



2 Floor Wall connection Detail
1 1/2" = 1'-0"

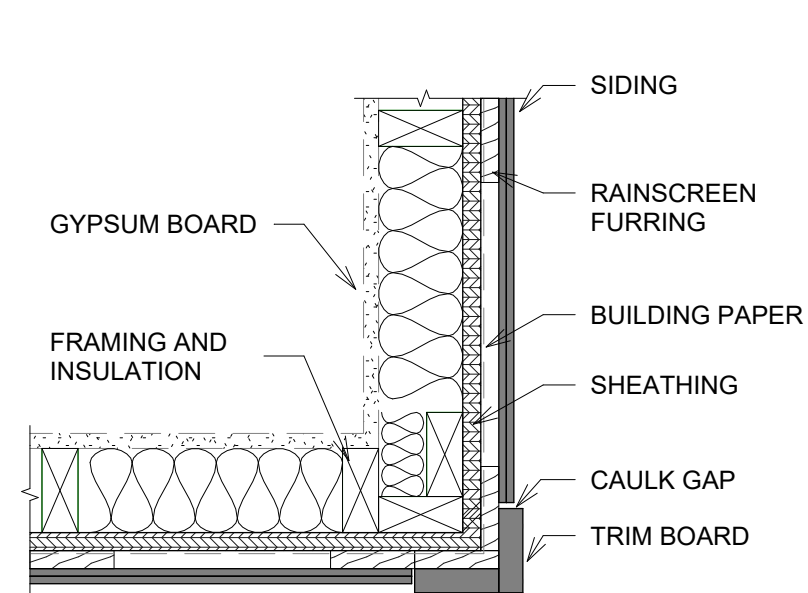


4 Rainscreen
1/2" = 1'-0"

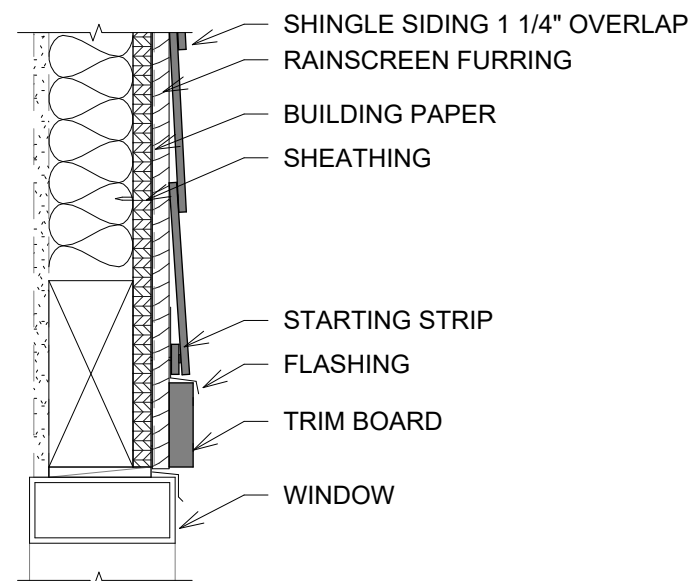
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Details 2

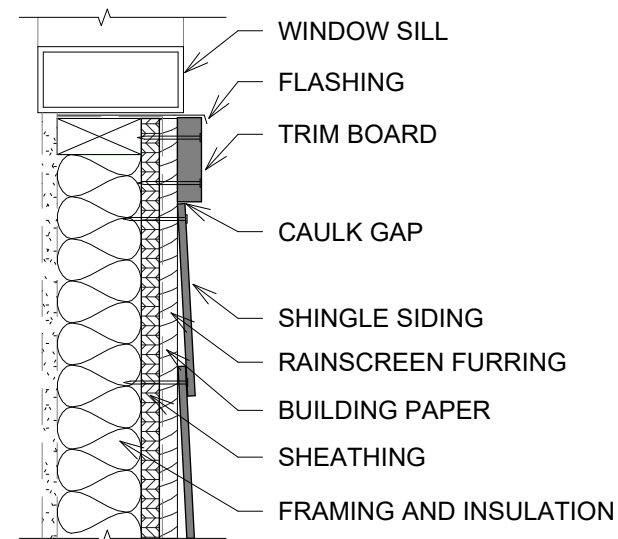
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| Project number | 1610 | A25.2 |
| Date | Oct 26, 2023 | |
| Drawn by | Author | |
| Checked by | Checker | |
| Scale As indicated | | |



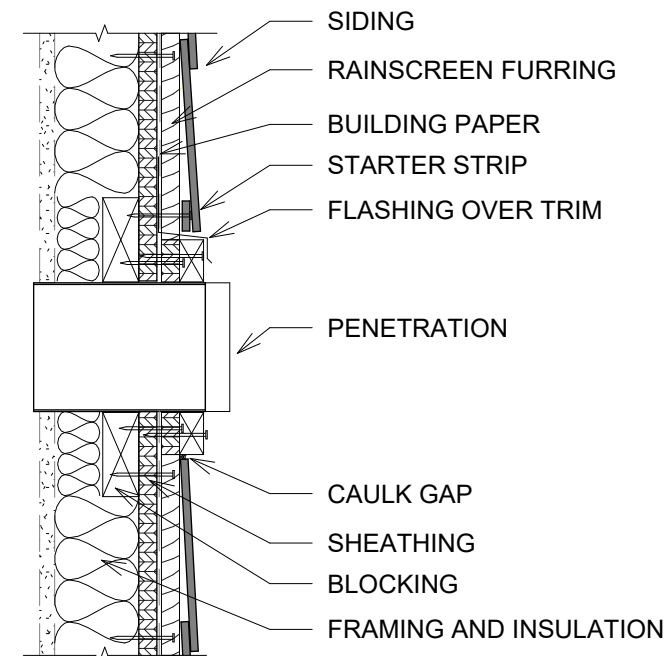
① Outside Corner detail
1 1/2" = 1'-0"



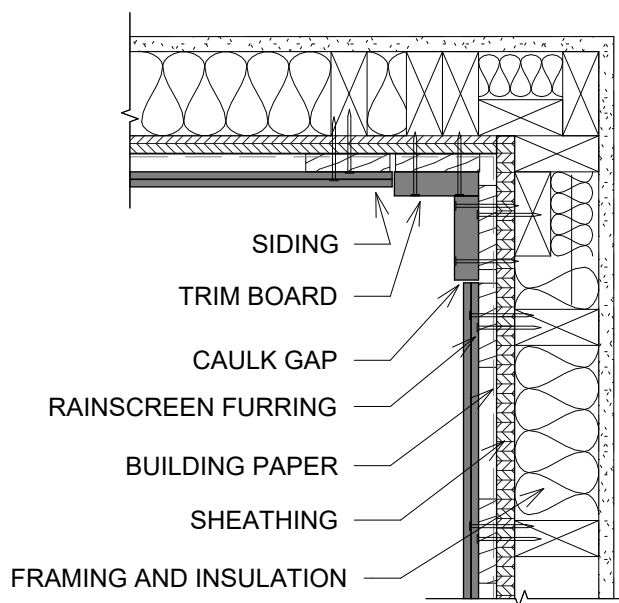
② Header Detail
1 1/2" = 1'-0"



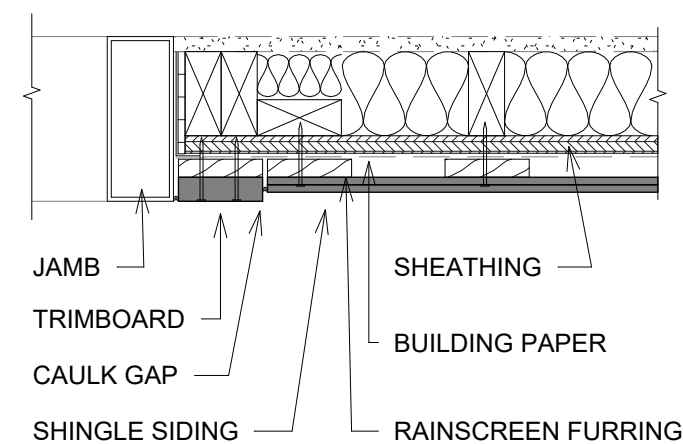
③ Sill Detail
1 1/2" = 1'-0"



④ Penetration Detail
1 1/2" = 1'-0"



⑤ Inside Corner Detail
1 1/2" = 1'-0"



⑥ Jam detail
1 1/2" = 1'-0"



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Slivercrest Custom
Homes and Reno
914 Fourth Street

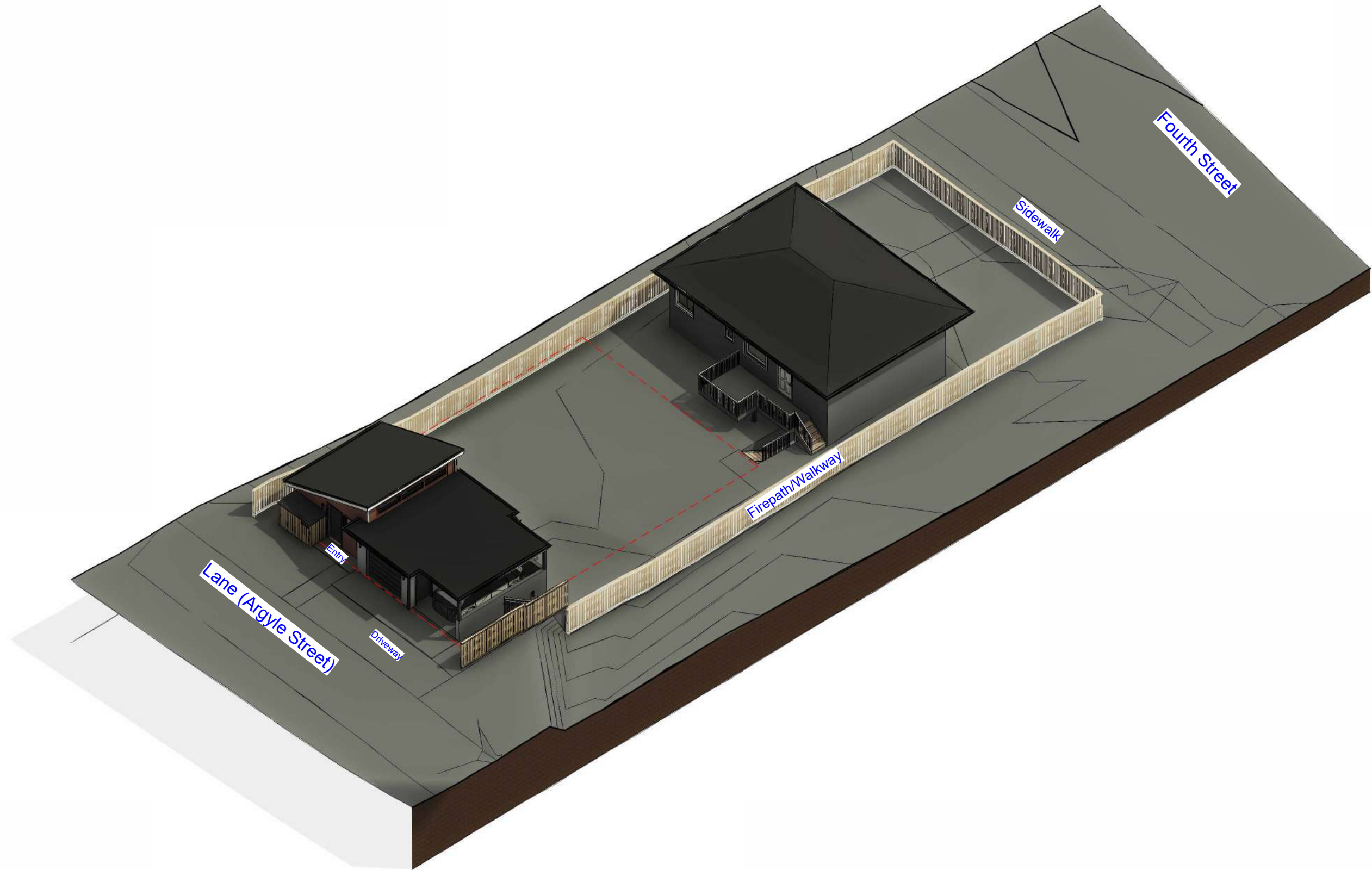
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Details 3

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|----------------|--------------|
| Project number | 1610 |
| Date | Oct 26, 2023 |
| Drawn by | KM |
| Checked by | Checker |

A25.3

Scale 1 1/2" = 1'-0"



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914 Fourth Street

| No. | Description | Date |
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Laneway 3D Views

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|----------------|--------------|-------|
| Project number | 1610 | A26 |
| Date | Oct 26, 2023 | |
| Drawn by | Author | |
| Checked by | Checker | Scale |



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| No. | Description | Date |
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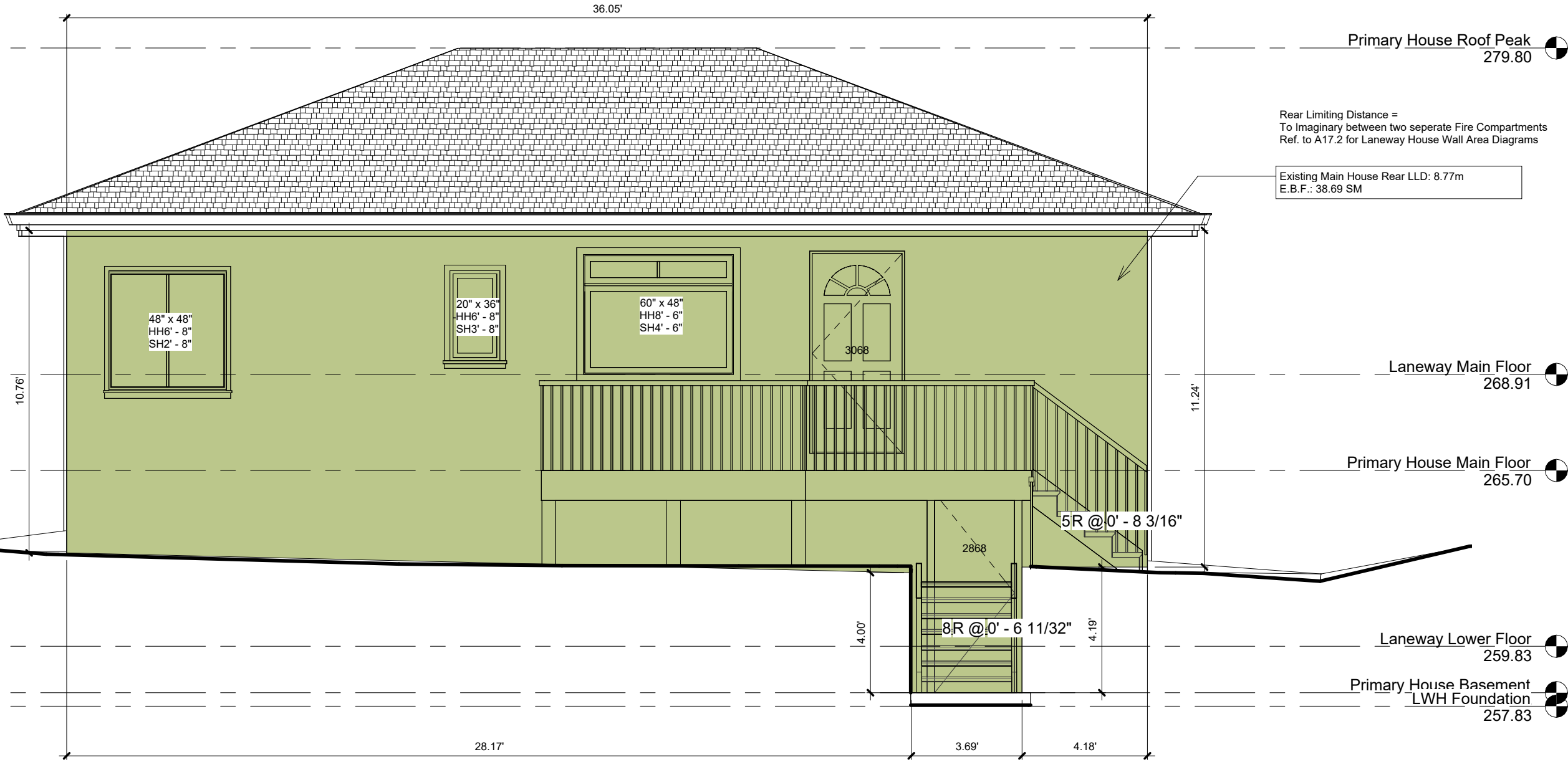
Laneway 3D Views

Project number 1610
Date Oct 26, 2023
Drawn by JG
Checked by JG

A26.1

Scale

| | | | | | |
|-------------------------|--------------|--------------------------|--------------------|---|--|
| Main House - Rear | | Building Face Area (SqM) | | 38.69 | |
| Quantity | Window Width | Window Height | Window Area (SqIn) | Window Area (SqM) | |
| 1 | 48 | 48 | 2304 | 1.48644864 | |
| 1 | 20 | 36 | 720 | 0.4645152 | |
| 1 | 60 | 48 | 2880 | 1.8580608 | |
| Total Window Area (SqM) | | 3.8090 | | Percentage Openings (Windows/Building Face) | |
| Limiting Distance (m) | | 8.77m | | Maximum Allowable Percentage | |
| | | | | 9.84% | |
| | | | | 100.00% | |



1 Primary House Rear Elevation
1/4" = 1'-0"



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|-----|-------------|------|
| | | |
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Main House Rear

| | |
|----------------|--------------|
| Project number | 1610 |
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A27

Scale 1/4" = 1'-0"



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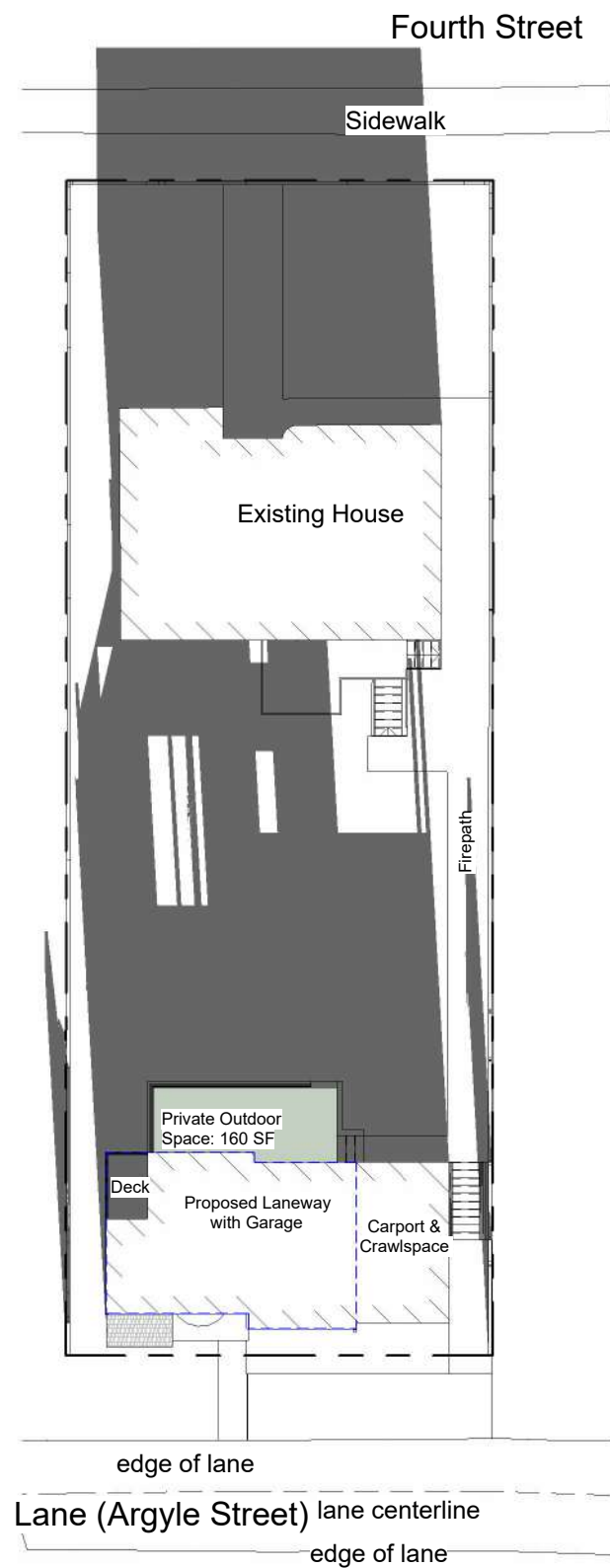
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Main House Rear Photos

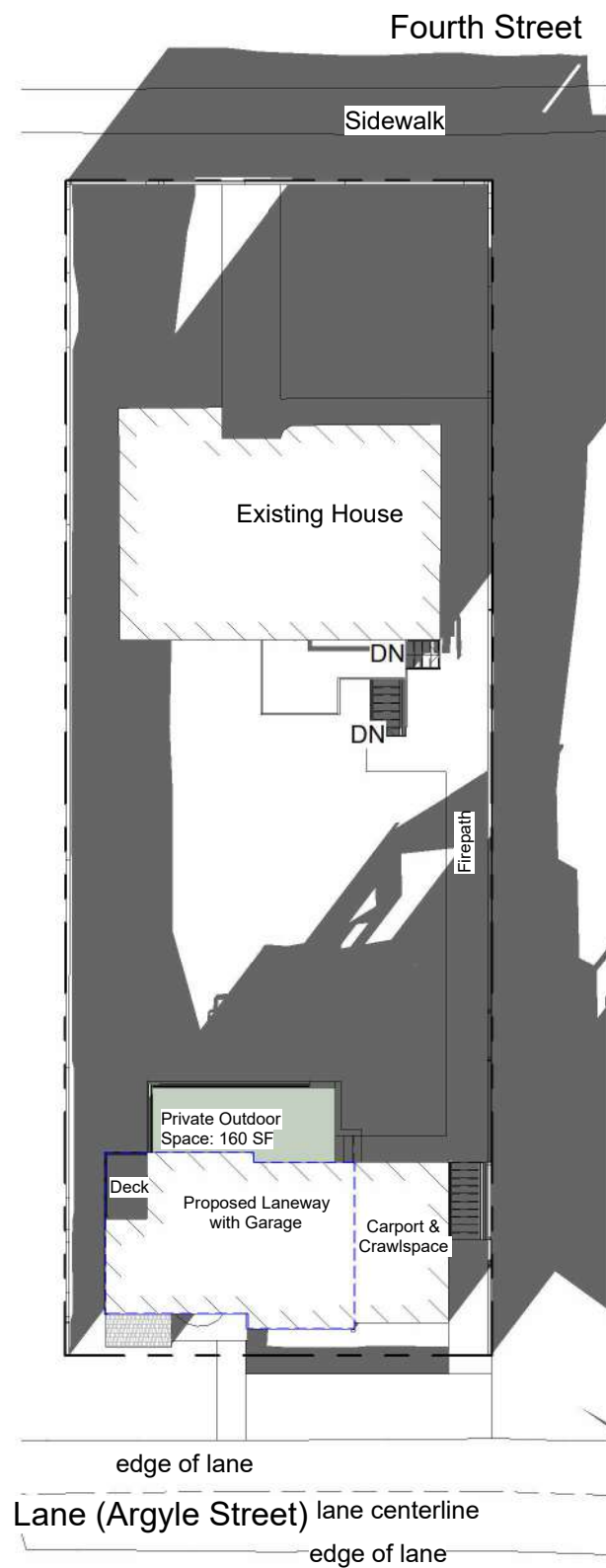
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|----------------|--------------|-------|
| Project number | 1610 | A27.1 |
| Date | Oct 26, 2023 | |
| Drawn by | Author | |
| Checked by | Checker | Scale |



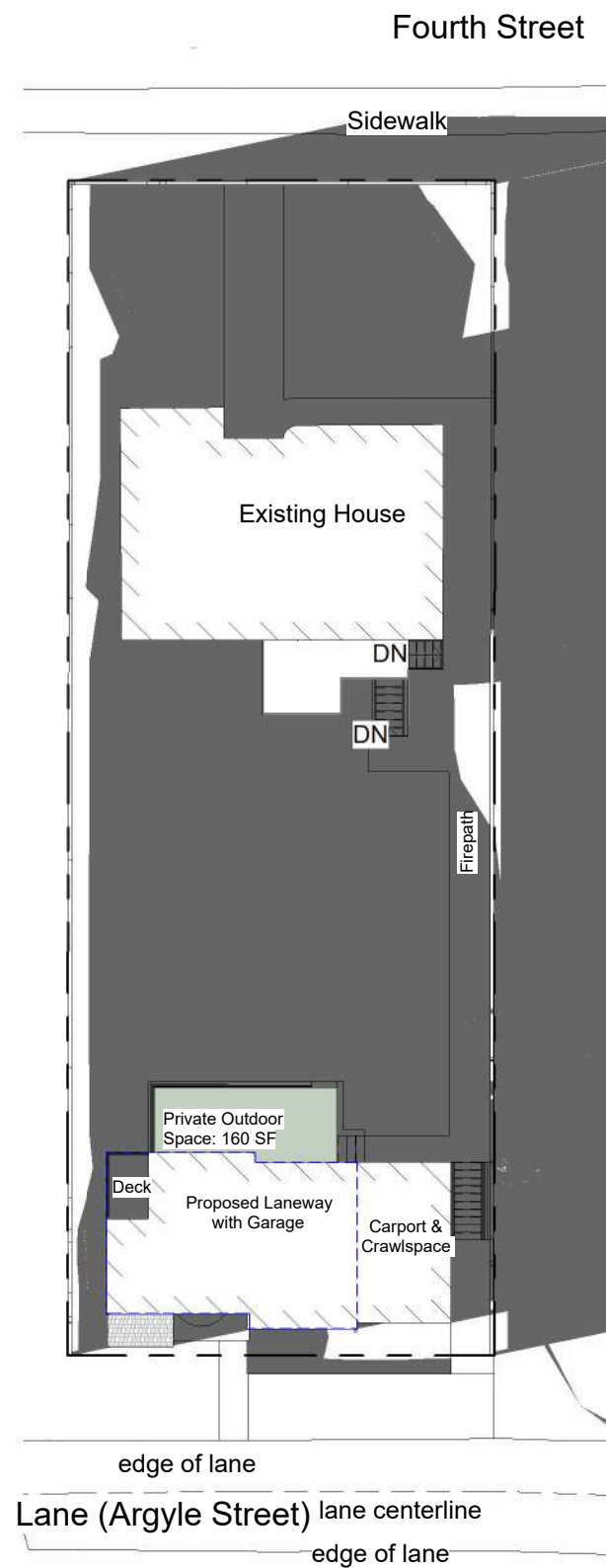
B) All Storm Fixtures with Rim Elevations below 51.73m (geodetic) or 169.718 ft (geodetic) must be Protected (see the "Fixture Restriction Guidelines Update" attached)



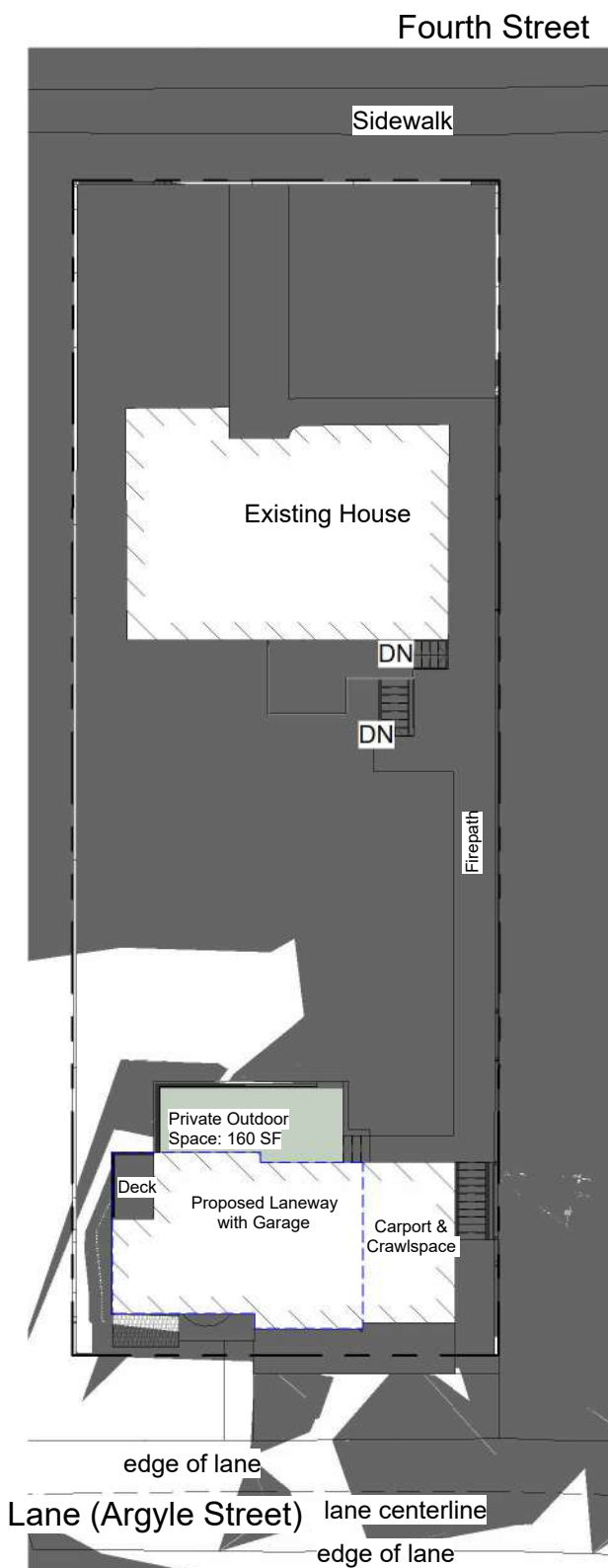
① Shadow - Winter - 0900
3/64" = 1'-0"



② Shadow - Winter - 1200
3/64" = 1'-0"



③ Shadow - Winter - 1500
3/64" = 1'-0"



④ Shadow - Winter - 1800
3/64" = 1'-0"



| No. | Description | Date |
|-----|-------------|------|
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|----------------|--------------|---------------|
| Project number | 1610 | A29 |
| Date | Oct 26, 2023 | |
| Drawn by | Author | |
| Checked by | Checker | |
| Scale | | 3/64" = 1'-0" |



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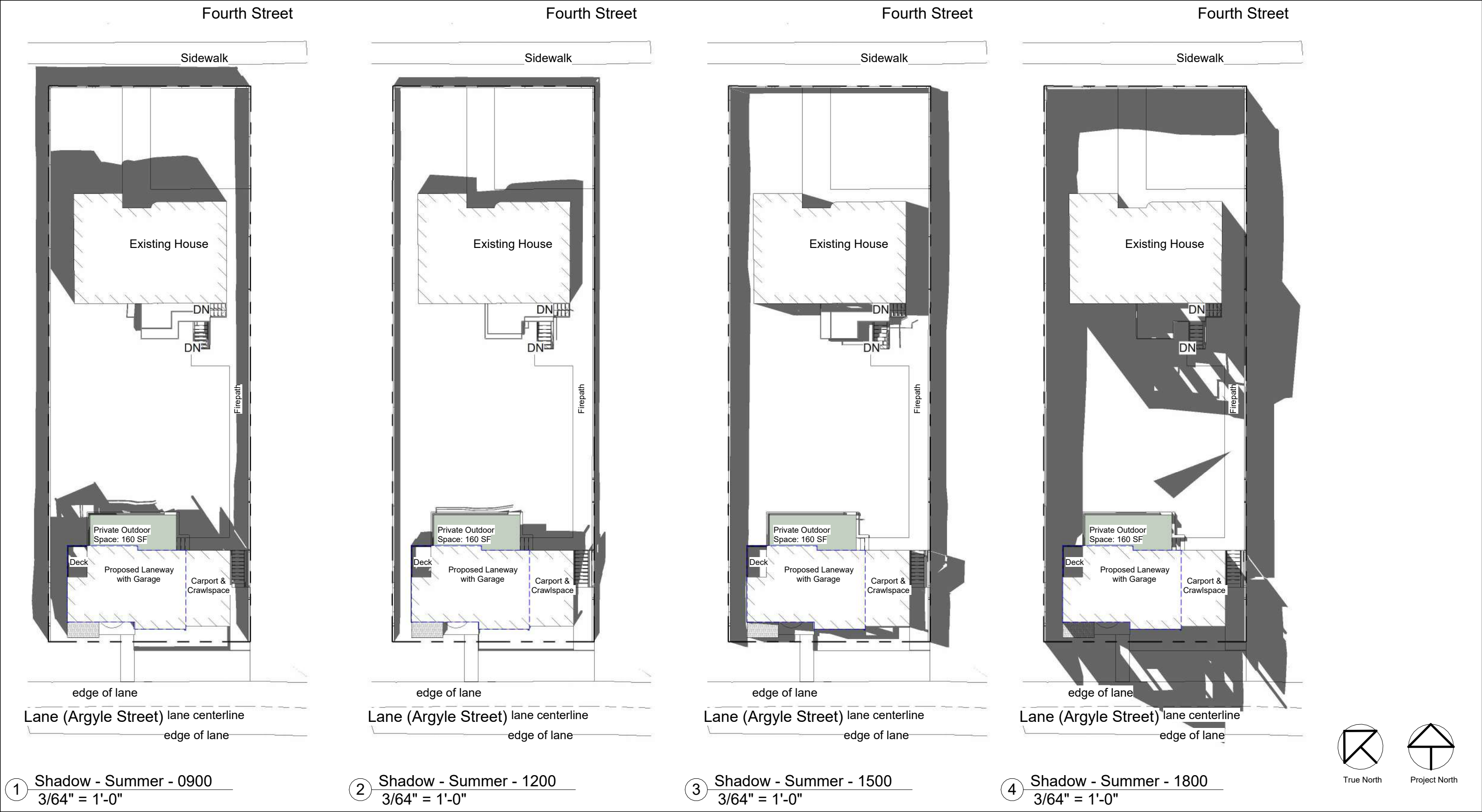
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Shadow Study Spring

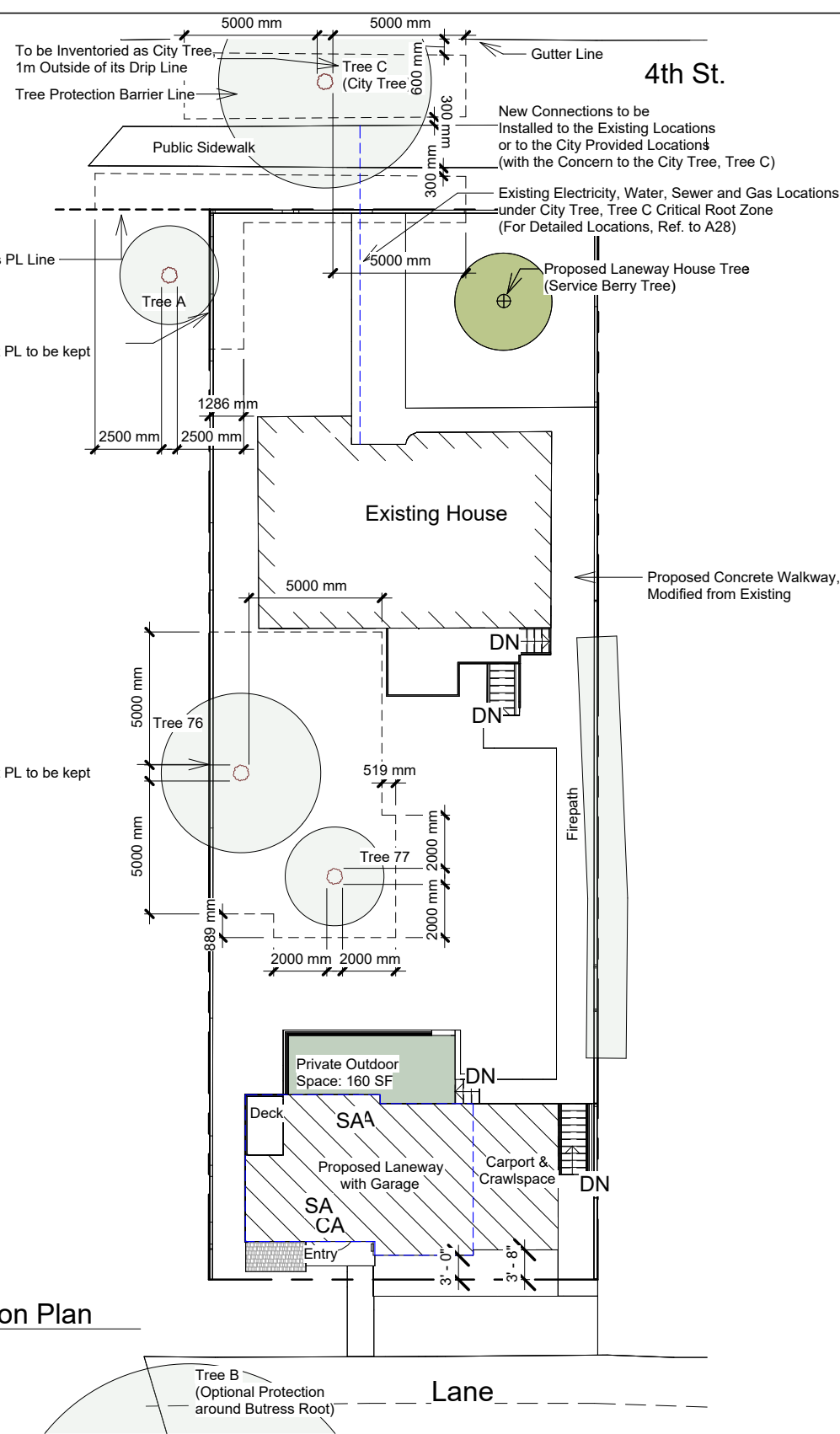
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|----------------|--------------|-----|
| Project number | 1610 | A30 |
| Date | Oct 26, 2023 | |
| Drawn by | Author | |
| Checked by | Checker | |

Scale 3/64" = 1'-0"

27-Oct-2023 04:25:52







Standard and Boulevard Tree Protection Barrier (TPB) guide/outline (Fig 3)

TPB is to be erected in accordance with municipal bylaw. Traditionally it is composed of wooden 2x4 construction and orange snow fencing material. It is to be erected in a suitable geometrical form or shape to encompass the outlined areas in the above mentioned report, or as described by development services. It is to be a permanent structure that can be maintained for the entire development process. It is to be adhered to and the inside area is not to be used for storage of supplies or rubbish. Any reduction in TPB should be supervised and Arborist consultation is mandatory.

ALL TPB WILL BE ERRECTED IN A GEOMETRICAL FASHION WITH THE SIDES OF THE FORM REPRESENTING THE RADIAL SPAN. For any finish work post construction and for new landscape installation it is important to minimize ground penetrating activities within any outlined TPB areas. The grade of areas that are within TPB areas should be maintained. If there is any major ground penetrating activities required within TPB areas, consultation with a Certified Arborist is recommended. Little or no ground penetration should be performed within the outlined TPB areas at any time during, or after development activities. **Any modification or adulteration of a TPB area should be verified with a Certified Arborist.** If there is any hesitation with respect to ownership of any outlined trees and/or distinctive actions to trees on this site it is recommended to consult with applicable parties to ensure that no one's property has been wrongfully adulterated. Monkey Tree Services Tree Police Services Ltd does not designate ownership of outlined plant or tree materials described in this report.

NOTE: residual stumps in protected areas will require spot stump grinding and non extraction.

Tree Summary

| Tree ID | DBH | TPB | Arborist Inclusion |
|------------------|-------|----------------------------------|--------------------|
| #76 | 90cm | RQD 5m or 16ft | NO |
| #77 | 24cm | RQD 2.0m | NO |
| A | 24cm | RQD 2.5m | NO |
| B | 150cm | Optional Around Buttress Root | NO |
| C (City Tree) | 45cm | RQD 5.0m | NO |

All Trees to be Retained
Ref. to Arborist Report for Details

1 Tree Protection Plan
1" = 20'-0"

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| No. | Description | Date |
|-----|---|---------------|
| 28 | Tree protection information update. | July 13, 2023 |
| 31 | Existing fence detail corrected to existing fence to be kept identified at the site service plan. | Aug 4, 2023 |
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| | | |

Tree Protection Plan

| | | |
|----------------|--------------|-----|
| Project number | 1610 | A33 |
| Date | Oct 26, 2023 | |
| Drawn by | KM | |
| Checked by | Checker | |

Scale 1" = 20'-0"